

May 26, 2011

BENICIA HISTORIC PRESERVATION REVIEW COMMISSION

REGULAR MEETING AGENDA

City Hall Commission Room

Thursday, May 26, 2011

6:30 P.M.

MEET & GREET SESSION: 6:30 - 7:00 P.M.

Chair Haughey will provide an introduction to the meet & Greet Session. City Building and Planning staff, HPRC Commissioners and Benicia Historical Society members will be available to meet the public, answer questions, and discuss general issues. There is no agenda for this portion of the meeting to allow citizens the opportunity to ask questions, get information regarding City procedures and discuss any topics desired.

Please note that the Commission will not be able to discuss specific items or projects that may come before them in the future.

I. OPENING OF MEETING: 7:00 P.M.

A. Pledge of Allegiance

B. Roll Call of Commissioners

C. Reference to Fundamental Rights of Public - A plaque stating the Fundamental Rights of each member of the public is posted at the entrance to this meeting room per Section 4.04.030 of the City of Benicia's Open Government Ordinance.

II. ADOPTION OF AGENDA

III. OPPORTUNITY FOR PUBLIC COMMENT

This portion of the meeting is reserved for persons wishing to address the Commission on any matter not on the agenda that is within the subject matter jurisdiction of the Historic Preservation Review Commission. State law prohibits the Commission from responding to or acting upon matters not listed on the agenda. Each speaker has a maximum of five minutes for public comment. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of your entire group. Speakers may not make personal attacks on commissioners, staff or members of the public, or make comments which are slanderous or which may invade an individual's personal privacy.

A. WRITTEN COMMENT

B. PUBLIC COMMENT

IV. ELECTION OF OFFICERS

V. CONSENT CALENDAR

Consent Calendar items are considered routine and will be enacted, approved or adopted by one motion unless a request for removal for discussion or explanation is received from the Historic Preservation Review Commission or a member of the public by submitting a speaker slip for that item.

*Any Item identified as a Public Hearing has been placed on the Consent Calendar because it has not generated any public interest or dissent. However, if any member of the public wishes to comment on a Public Hearing item, or would like the item placed on the regular agenda, please notify the Community Development Staff either prior to, or at the Historic Preservation Review Commission meeting, prior to the reading of the Consent Calendar.

A. [Approval of Minutes of March 24, 2011](#)

VI. REGULAR AGENDA ITEMS

A. [1150 WEST 7th Street Design Review](#)

[\(Attachment: Project Plans\)](#)

10PLN-8 Design Review

1150 West Seventh Street - Benicia Health and Fitness Club

APN: 087-141-060

PROPOSAL: The applicant requests Design Review approval to construct a two-story, 4,800 square foot addition to the rear of the existing 30,000 square foot health club facility. The addition will provide additional space for health club member activities and maintenance and utility rooms. The proposed addition is consistent with the development regulations of the Zoning Ordinance, with the exception of minimum site landscaping, for which the applicant has submitted a separate Variance application that will be considered by the Planning Commission.

Recommendation: Approve design review request for a two-story, 4,800 square foot east-facing addition to the rear of the existing building located at 1150 West Seventh Street, based on the findings and subject to the conditions of approval set forth in the proposed resolution.

VII. COMMUNICATIONS FROM STAFF

A. VERBAL UPDATE ON BICYCLE RACK TASK FORCE

Staff will provide an update on the Bicycle Rack Task Force.

B. [UPDATE - AMENDMENT TO TITLE 17.54](#)

Staff will provide an update on the amendment to Title 17.54.

VIII. COMMUNICATIONS FROM COMMISSIONERS

IX. ADJOURNMENT

Public Participation

The Benicia Historic Preservation Review Commission welcomes public participation.

Pursuant to the Brown Act, each public agency must provide the public with an opportunity to speak on any matter within the subject matter jurisdiction of the agency and which is not on the agency's agenda for that meeting. The Historic Preservation Review Commission allows speakers to speak on agendized and non-agendized matters under public comment. Comments are limited to no more than 5 minutes per speaker. By law, no action may be taken on any item raised during the public comment period although informational answers to questions may be given and matters may be referred to staff for placement on a future agenda of the Historic Preservation Review Commission.

Should you have material you wish to enter into the record, please submit it to the Commission Secretary.

Disabled Access

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting, please contact the ADA Coordinator at (707) 746-4211. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Meeting Procedures

All items listed on this agenda are for Commission discussion and/or action. In accordance with the Brown Act, each item is listed and includes, where appropriate, further description of the item and/or a recommended action. The posting of a recommended action does not limit, or necessarily indicate, what action the Commission may take.

The Historic Preservation Review Commission may not begin new public hearing items after 11 p.m. Public hearing items, which remain on the agenda, may be continued to the next regular meeting of the Commission, or to a special meeting.

Pursuant to Government Code Section 65009; if you challenge a decision of the Historic Preservation Review Commission in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Historic Preservation Review Commission at, or prior to, the Public Hearing. You may also be limited by the ninety (90) day statute of limitations in which to file and serve a petition for administrative writ of mandate challenging any final City decisions regarding planning or zoning.

Appeals of Historic Preservation Review Commission decisions that are final actions, not recommendations, are considered by the Planning Commission. Appeals must be filed in the Public Works & Community Development Department in writing, stating the basis of appeal with the appeal fee within 10 business days of the date of action.

Public Records

The agenda packet for this meeting is available at the City Clerk's Office, the Benicia Public Library and the Public Works & Community Development Department during regular working hours. To the extent feasible, the packet is also available on the City's web page at www.ci.benicia.ca.us under the heading "Agendas and Minutes." Public records related to an open session agenda item that are distributed after the agenda packet is prepared are available before the meeting at the Public Works & Community Development Department's office located at 250 East L Street, Benicia, or at the meeting

held in the City Hall Commission Room. If you wish to submit written information on an agenda item, please submit to Gina Eleccion, Management Analyst, as soon as possible so that it may be distributed to the Historic Preservation Review Commission.

 [Minutes of March 24, 2011](#)

 [1150 West 7th Street Staff Report and Resolution](#)

 [1150 W 7th Project Plans](#)

 [Title 17.54 Update.pdf](#)



**BENICIA HISTORIC PRESERVATION REVIEW COMMISSION
REGULAR MEETING MINUTES**

**City Hall Commission Room
Thursday, March 24, 2011
6:30 P.M.**

I. OPENING OF MEETING

- A. Pledge of Allegiance**
- B. Roll Call of Commissioners**

Present: Commissioners Crompton, Mang, McKee, Van Landschoot, and White

Absent: Commissioner Taagepera and Chair Haughey (both excused)

Staff Present:

Melissa Morton, Land Use & Engineering Manager

Doug Vu, Associate Planner

Gina Eleccion, Management Analyst

- C. Reference to Fundamental Rights of Public** - A plaque stating the Fundamental Rights of each member of the public is posted at the entrance to this meeting room per Section 4.04.030 of the City of Benicia's Open Government Ordinance.

II. ADOPTION OF AGENDA:

On motion of Commissioner Crompton, seconded by Commissioner Mang, the agenda was adopted by the following vote:

Ayes: Commissioners Crompton, Mang, McKee, Van Landschoot and White
Noes: None
Absent: Commissioner Taagepera and Chair Haughey
Abstain: None

III. OPPORTUNITY FOR PUBLIC COMMENT

A. WRITTEN COMMENT

None.

B. PUBLIC COMMENT

None.

IV. PRESENTATIONS

None.

V. CONSENT CALENDAR

On motion of Commissioner White, seconded by Commissioner Crompton, the Consent Calendar was approved by the following vote:

Ayes: Commissioners Crompton, Mang, McKee, Van Landschoot and White
Noes: None
Absent: Commissioner Taagepera and Chair Haughey
Abstain: None

A. Approval of Minutes of February 24, 2011

VI. REGULAR AGENDA ITEMS

A. 724 FIRST STREET – DESIGN REVIEW

11PLN-005 Design Review
724 First Street, APN: 089-341-001

PROPOSAL:

The applicant requests design review approval to modify the west-facing façade of the existing commercial storefront located at 724 First Street within the Downtown Historic Conservation District. The exterior modifications include painting of the walls and trim and replacing the front door to match the existing color scheme and door of the adjacent storefront at 726 First Street.

Recommendation: Approve modifications to the west-facing façade of the existing commercial storefront located at 724 First Street, based on the findings and subject to the conditions listed in the proposed resolution.

Commissioner McKee recused himself due to being the designer on the project. Commissioner Mang chaired this portion of the meeting.

Doug Vu, Associate Planner, gave an overview of the project. He noted that staff does not support painting of the tiles and that the sign in the window exceeds 20% of the area of the window, which is regulated by the Downtown Historic Conservation Plan.

Commissioners questioned staff on the determination that the window element is a sign. Doug Vu noted that by the City's definition, it is a sign.

Delando Pagan, Applicant – He noted that they would like to replace the tile with new tile, not repair the existing. He stated that the window piece in question is an artistic piece, not a sign. He quoted various sign regulations from the State and also from other jurisdictions. He read definitions from a June 10, 2010 memo to the Planning Commission regarding signage.

The public hearing was opened.

A letter submitted by Tony Shannon was read into the record. Mr. Shannon agreed that this should not be viewed as a sign, and further commented that all signs on First Street should be looked at for compliance.

The public hearing was closed.

All commissioners agreed that the tile should not be painted or changed, but rather repaired. There was not consensus on the sign.

Doug Vu noted that a sign does not necessarily need to be affixed to a window. If it identifies the business, it is a sign. Melissa Morton, Land Use & Engineering Manager, supports this interpretation. Commissioners Crompton and White agreed with this interpretation. Commissioner Mang did not. Commissioner Van Landschoot was conflicted about the sign issue.

Doug Vu noted that the interior wall was approved by the Planning Division, however, no sign or art feature was shown on the wall, therefore City staff had no input on this item.

Commissioners commented that other signs on First Street should be looked at. Melissa Morton noted that code enforcement is done on a complaint basis. If there are specific signs that are issues, the City's Code Enforcement Officer could look at those.

Commissioners discussed what the process would be if the project gets approved as recommended by staff. Doug Vu noted that the applicant would work with staff to reduce the size of the sign. In addition, Gina Eleccion noted that staff would work with the applicant to locate appropriate tiles for the storefront. If the applicant disagrees with the decision, an appeal can be submitted, which would be heard by the Planning Commission. Any appeal of Planning Commission action would be heard by the City Council.

RESOLUTION NO. 11-4 (HPRC) - A RESOLUTION OF THE HISTORIC PRESERVATION REVIEW COMMISSION OF THE CITY OF BENICIA APPROVING DESIGN REVIEW OF 724 FIRST STREET (11PLN-0005)

On motion of Commissioner White, seconded by Commissioner Crompton, the above resolution was adopted by the following vote:

Ayes: Commissioners Crompton, Van Landschoot and White
Noes: Commissioner Mang
Absent: Commissioner Taagepera and Chair Haughey
Abstain: Commissioner McKee

VII. COMMUNICATIONS FROM STAFF

Commissioner McKee rejoined the meeting.

A. VERBAL UPDATE ON BICYCLE RACK TASK FORCE

Staff will provide an update on the Bicycle Rack Task Force.

Gina Eleccion noted that the Bicycle Rack Task Force met on March 7th. There is a second meeting on Monday, April 4th. They are looking at the functionality, aesthetics, and locations of the racks. A more appropriate rack will be proposed for the downtown, and the existing racks will be given to the Parks Department for future installation in various sites around town. A final recommendation will be made to the City Council.

Gina Eleccion stated that the City will be celebrating Earth Day on Thursday, April 21st at the Veterans Memorial Hall. She reminded the Commission that they had a table last year and encouraged them to participate again. She stated that an email would be sent to confirm volunteers.

In addition, Gina Eleccion noted that May is National Preservation Month.

VIII. COMMUNICATIONS FROM COMMISSIONERS

A. REQUEST FROM CHAIR HAUGHEY – AIA ENDANGERED HISTORIC PLACES SUBMISSION

Chair Haughey requested approval to act on the Commission’s behalf in preparing a submission for the AIA Endangered Historic Places Program for the Bachelors Officers Quarters. The goal of compiling the list of endangered places is to call attention to their history and plight, and to raise awareness on a regional level.

Gina Eleccion stated that Chair Haughey would like the Commission’s approval for her to assist in preparing this submission. There were no objections from the Commission.

Commissioner White requested that staff perform an audit related to signs on First Street businesses.

IX. ADJOURNMENT

The meeting was adjourned at 7:28 p.m.

**AGENDA ITEM
HISTORIC PRESERVATION REVIEW COMMISSION MEETING
MAY 26, 2011
REGULAR AGENDA ITEM**

DATE : May 26, 2011

TO : Historic Preservation Review Commission

FROM : Doug Vu, Associate Planner

SUBJECT : **DESIGN REVIEW FOR AN ADDITION TO THE EXISTING
COMMERCIAL BUILDING LOCATED AT 1150 WEST SEVENTH
STREET**

PROJECT : 10PLN-0008 Design Review
1150 West Seventh Street – Benicia Health and Fitness Club
APN: 087-141-060

RECOMMENDATION:

Approve design review request for a two-story, 4,800 square-foot addition to the rear of the existing building located at 1150 West Seventh Street based on the findings and subject to the conditions of approval set forth in the proposed resolution and provide recommendations to the Planning Commission relevant to the variance for minimum site landscaping.

EXECUTIVE SUMMARY:

The applicant requests design review approval to construct a two-story, 4,800 square foot addition to the rear of the existing 30,000 square foot health club facility. The addition will provide additional space for health club member activities and maintenance and utility rooms. The scope of the project also includes the reconfiguration of the parking lot to provide an additional 12 parking spaces and additional site landscaping. The project is consistent with the development regulations of the Zoning Ordinance, with the exception of minimum site landscaping, for which the applicant has submitted a separate variance application that will be considered by the Planning Commission.

ENVIRONMENTAL ANALYSIS:

The proposed project is Categorical Exempt from additional environmental review pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15301(e)(2) Existing Facilities – Addition of less than 10,000 square feet if the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area

in which the project is located is not environmentally sensitive. The subject property is located in a developed area where all public services and facilities are currently available to allow for development consistent with zoning standards, and the project is not located in an environmentally sensitive area.

BACKGROUND:

The subject property is currently 1.66 acres in size and is located on the east side of the 1100 block of West Seventh Street, between West Military and K Street. The General Plan and Zoning designation for the property is Community Commercial and the adjacent land uses include: Single Family Residential to the north and east; Single Family Residential, Medium Density Residential and Community Commercial to the south; and Community Commercial and Open Space to the west of the property (see Figure A).

The Planning Commission originally approved the Benicia Health and Fitness Club through a use permit in 1994. In 2003, the property owner received Planning Commission approval through an amendment of the original 1994 use permit to construct a 7,200 square foot addition to the southeast portion of the building, and a new use permit for reduced parking.



Figure A: 1150 West Seventh Street – Benicia Health & Fitness Club

SUMMARY:

Project Description

The applicant proposes to construct a 25-foot tall, two-story, 4,800 square-foot addition that will fill in the inverted “L” shape of the existing 30,000 square-foot

structure, which will result in a square-shaped building that measures approximately 122-feet in width and 122-feet in depth. Similar to the existing east-facing portion of the building that was approved in 2003, the slope adjacent to West Sixth Street will be graded to accommodate the addition and provide some of the additional parking that is required as a result of the expansion (see Figure B).



Figure B: Location of addition facing north

The exterior of the addition will be clad in stucco, plywood siding and incorporate redwood trim that will match the exterior of the existing building. The north-facing elevation of the addition will also include six double-pane fixed glass windows, a pair of metal service doors and an awning structure that will also match similar architectural elements on the existing building. The addition will provide further space for club member activities (including separate aerobics and rowing rooms) as well as a workshop to service gym equipment and maintenance and utility rooms.

Zoning Ordinance Consistency

The commercial use of this property as a health and fitness club as established in 1994 will be maintained and the proposed addition will be consistent with the applicable development regulations for the Community Commercial zoning district, with the exception of minimum site landscaping.

Standard	Permitted/Required	Proposed
Maximum Height of Structures	40 feet	25 feet
Maximum Lot Coverage	50%	24%
Maximum FAR	0.8	0.48
Minimum Site Landscaping	20%	20%*
Minimum Off-Street Parking	99 - 103	104

* Total using reconfigured parcel size.



Figure C: Location of addition facing east

If the newly configured parcel size, which is discussed below, is used to calculate the 20% minimum site landscaping, the requirement would total approximately 14,750 square feet. The existing area of landscaping on the property totals 10,740 square feet, which is less than the amount required. To obtain the additional area of landscaping that is necessary, the property owner has submitted a request for a variance from the Planning Commission that will allow utilization of the existing landscaping along the perimeter of the property adjacent to West Sixth and K Streets that are within City rights of way. The property owner currently maintains the area along K Street and the area along West Sixth Street could be planted with additional trees and low-growing shrubs

to provide an attractive visual screen between the health club and the residences adjacent to West Sixth Street (see Figures C and D). If added to the landscaping that exists on site, this additional 3,700 square feet will satisfy the 20% landscaping requirement.



Figure D: Existing landscaping along West Sixth Street right of way

Benicia Health and Fitness Club currently has 92 off-street parking spaces, which was granted by Planning Commission Use Permit 03-14. Since the City does not have a parking requirement formula for health and fitness clubs and determines this on a project-by-project basis, the applicant submitted a focused parking analysis to determine the additional amount of spaces that would be needed as a result of the proposed addition. The analysis by the consulting traffic engineer indicated the peak parking demand for the health club was 94 vehicles, and the total parking supply should exceed this amount by 5% to 10%, which equals 99 to 103 total spaces. The proposed project will meet this requirement by providing 104 parking spaces.

Property Boundaries

Due to the unique boundaries of this parcel, the owner/applicant has requested a 2,038 square foot portion of his property along West Seventh Street that extends into the public realm be deeded to the City, and that he acquire a 3,572 square foot portion of City right of way along West Military that encroaches into the health club's perimeter landscaping, driveways and parking lot. The request to acquire this easement will be considered by the Planning Commission through a General Plan conformance, and if granted will

be recommended to the City Council for approval. If this request to reconfigure the parcel is successful, the subject property will gain a net increase of 1,534 square feet (see Figure E).

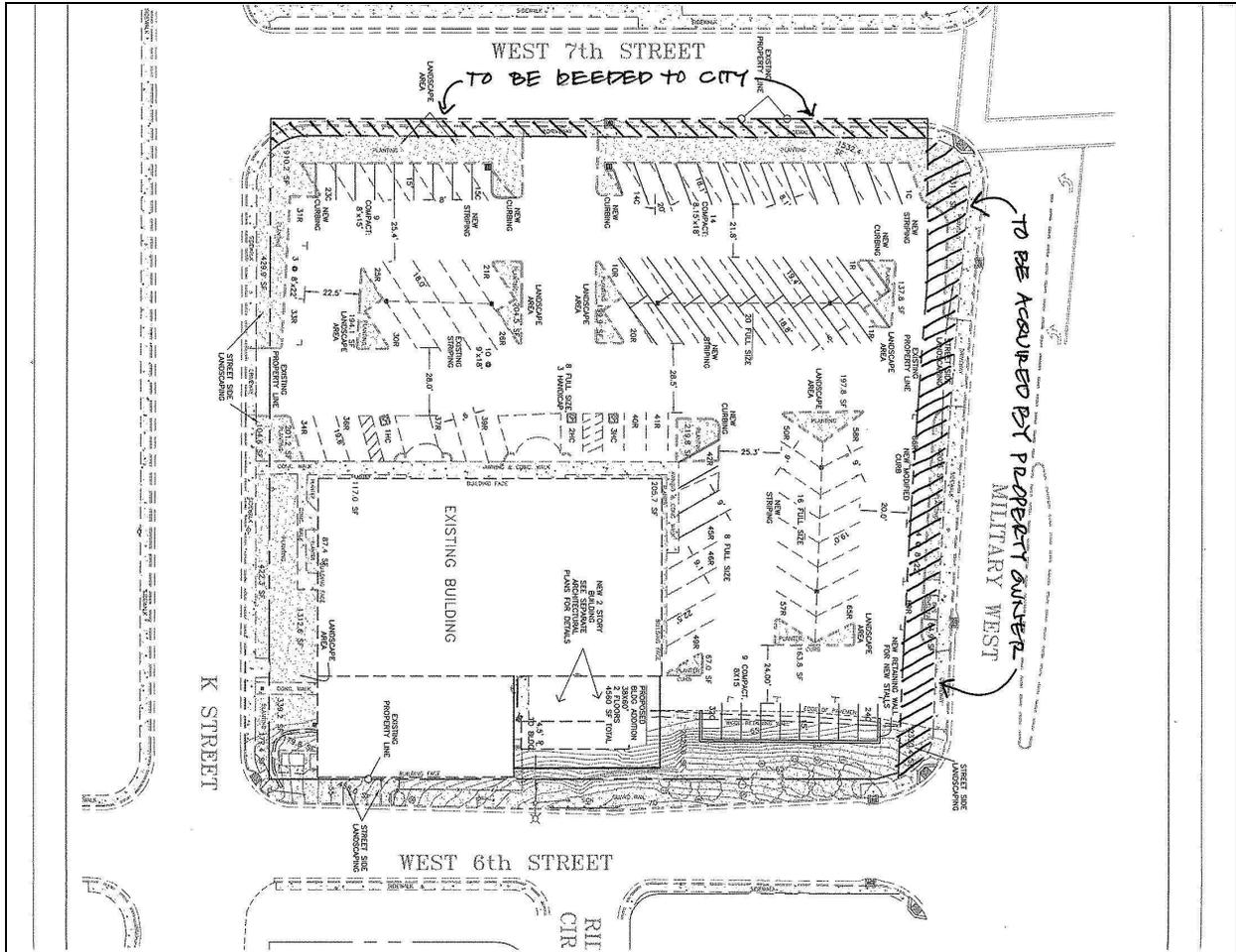


Figure E: Areas to be deeded to City and acquired by property owner

Design Review Finding

Pursuant to BMC §17.108.040, the finding can be made that the proposed addition to the Benicia Health and Fitness Club is consistent with the purposes of design review. Specifically:

- The location and configuration of the addition is visually harmonious with its site and with surrounding sites and structures, and will not unnecessarily block scenic views from other buildings or public parks or dominate its surroundings to an extent inappropriate to its use. The addition will not increase the overall height of the existing building, will be sited at the bottom of a steep slope and only a portion of the upper story will be above the grade of Sixth Street. The portion of the

addition that may be visible will be screened with existing and newly installed landscaping.

- The architectural design of the addition, its materials and colors are visually harmonious with surrounding development and with the natural landforms and vegetation of the areas in which it is proposed to be located. The addition will incorporate the same materials and colors as the existing building and will be contoured into the existing slope, similar to the addition that was approved in 2003.
- Contingent upon approval of a variance from the Planning Commission, the required landscaping of open spaces will comply with the 20% requirement in the zoning ordinance. The landscaping will also provide a visually pleasing and harmonious setting for structures on the site and serves as a transition to adjoining and nearby sites.
- The project prevents excessive and unsightly grading of hillsides, and preserves natural landforms and existing vegetation where feasible. The addition will be contoured into the existing slope and will minimize the amount of grading necessary.
- As recommended by a focused parking analysis, the parking lot will be re-configured to provide 104 spaces that will adequately serve the facility during peak periods and will provide efficient circulation areas that conform to the requirements of the zoning ordinance.
- The project provides a functional, efficient, and attractive site design which is sensitive to existing uses in the area and to the topography and conditions of the site. The addition is functional, efficiently sited, will be harmonious with the existing structure, and is in a location that will minimize any potential visual impacts to the surrounding neighborhood.

Conclusion

The proposed addition to the Benicia Health and Fitness Club, which includes a two-story, 4,800 square foot addition, reconfiguration of the parking lot to accommodate additional vehicles and additional site landscaping is consistent with the intent and purposes of the City's zoning ordinance, provided the use permit amendment, variance for landscaping and reconfiguration of the parcel is approved by the Planning Commission and City Council, respectively. Therefore, staff recommends the Historic Preservation Review Commission approve the design review request based on the findings and subject to the conditions of approval in the proposed resolution and provide recommendations to the Planning Commission relevant to the variance for

minimum site landscaping.

FURTHER ACTION:

The Historic Preservation Review Commission's action will be final unless appealed to the Planning Commission within ten business days by filing of the appropriate form and payment of the appropriate fee.

Attachments:

- ❑ Draft Resolution
- ❑ Project Plans

RESOLUTION NO. 11-X (HPRC)

A RESOLUTION OF THE HISTORIC PRESERVATION REVIEW COMMISSION OF THE CITY OF BENICIA APPROVING DESIGN REVIEW FOR 1150 WEST SEVENTH STREET – BENICIA HEALTH AND FITNESS CLUB (10PLN-0008)

WHEREAS, the applicant, Norm Koerner, has requested design review approval to construct a two-story, 4,800 square foot addition to the rear of the existing health club facility located at 1150 West Seventh Street; and

WHEREAS, the Historic Preservation Review Commission at their regular meeting on May 26, 2011 conducted a public hearing and reviewed the proposed project.

NOW, THEREFORE, BE IT RESOLVED that the Historic Preservation Review Commission of the City of Benicia hereby finds that:

- a) The project is Categorically Exempt from additional environmental review pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15301(e)(2) Existing Facilities – Addition of less than 10,000 square feet if the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive. The subject property is located in a developed area where all public services and facilities are currently available to allow for development consistent with zoning standards, and the project is not located in an environmentally sensitive area.
- b) The location and configuration of the addition is visually harmonious with its site and with surrounding sites and structures, and will not unnecessarily block scenic views from other buildings or public parks or dominate its surroundings to an extent inappropriate to its use. The addition will not increase the overall height of the existing building, will be sited at the bottom of a steep slope and only a portion of the upper story will be above the grade of Sixth Street. The portion of the addition that may be visible will be screened with existing and newly installed landscaping.
- b) The architectural design of the addition, its materials and colors are visually harmonious with surrounding development and with the natural landforms and vegetation of the areas in which it is proposed to be located. The addition will incorporate the same materials and colors

as the existing building and will be contoured into the existing slope, similar to the addition that was approved in 2003.

- d) Contingent upon approval of a variance from the Planning Commission, the required landscaping of open spaces will comply with the 20% requirement in the zoning ordinance. The landscaping will also provide a visually pleasing and harmonious setting for structures on the site and serve as a transition to adjoining and nearby sites.
- e) The project prevents excessive and unsightly grading of hillsides, and preserves natural landforms and existing vegetation where feasible. The addition will be contoured into the existing slope and will minimize the amount of grading necessary.
- f) As recommended by a focused parking analysis, the parking lot will be re-configured to provide 104 spaces that will adequately serve the facility during peak periods and will provide efficient circulation areas that conform to the requirements of the zoning ordinance.
- g) The project provides a functional, efficient, and attractive site design which is sensitive to existing uses in the area and to the topography and conditions of the site. The addition is functional, efficiently sited, will be harmonious with the existing structure, and is in a location that will minimize any potential visual impacts to the surrounding neighborhood.

BE IT FURTHER RESOLVED that the Historic Preservation Review Commission of the City of Benicia hereby approves the proposed project subject to the following conditions:

1. This approval is of no force and effect unless and until Planning Commission approval of a variance for landscaping is granted that will permit the applicant to utilize landscaping within City rights of way to satisfy the minimum site landscaping requirement pursuant to Title 17 of the Benicia Municipal Code.
2. This approval is of no force and effect unless and until the execution of an agreement between the property owner and the City of Benicia for the maintenance of landscaping within City rights of way.
3. Design Review approval shall expire two years from the date of approval, unless made permanent by the issuance of building permits.

4. The plans submitted for the building permit and development and construction shall be in substantial compliance with the submitted plans prepared by A.C.K. Engineering & Surveying and Cullen-Sherry Associates, Inc., date stamped received April 8, 2011, consisting of 8 sheets marked Exhibit "A" on file with the Public Works & Community Development Department, except as noted below. Any change from the approved plans, including substitution of materials, shall be requested in writing and approved by the Public Works & Community Development Director, or designee, prior to changes being made in the field.
5. The plans submitted for building permit and development and construction shall clearly identify the location of the trash enclosure, subject to the approval of the Public Works & Community Development Director, or designee.
6. The applicant shall submit a landscaping plan for the City right of way area adjacent to West Sixth Street, subject to the approval of the Public Works & Community Development Director, or designee.
7. The project shall adhere to all applicable ordinances, plans, and specifications of the City of Benicia.
8. Any alteration of the approved plans, including substitution of materials, shall be requested in writing and reviewed and approved by the Historic Preservation Review Commission prior to changes being made in the field.
9. Construction activities shall meet all municipal code requirements for hours of operation. Construction equipment shall be adequately muffled and controlled. These requirements shall be made a condition of all related contracts for the project.
10. The applicant or permittee shall defend, indemnify, and hold harmless the City of Benicia or its agents, officers, and employees from any claim, action, or proceeding against the City of Benicia or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Historic Preservation Review Commission, Planning Commission, City Council, Public Works & Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's

promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.

* * * * *

On motion of Commissioner _____, seconded by Commissioner _____, the above Resolution was adopted by the Historic Preservation Review Commission of the City of Benicia at a regular meeting of said Commission held on May 26, 2011 by the following vote:

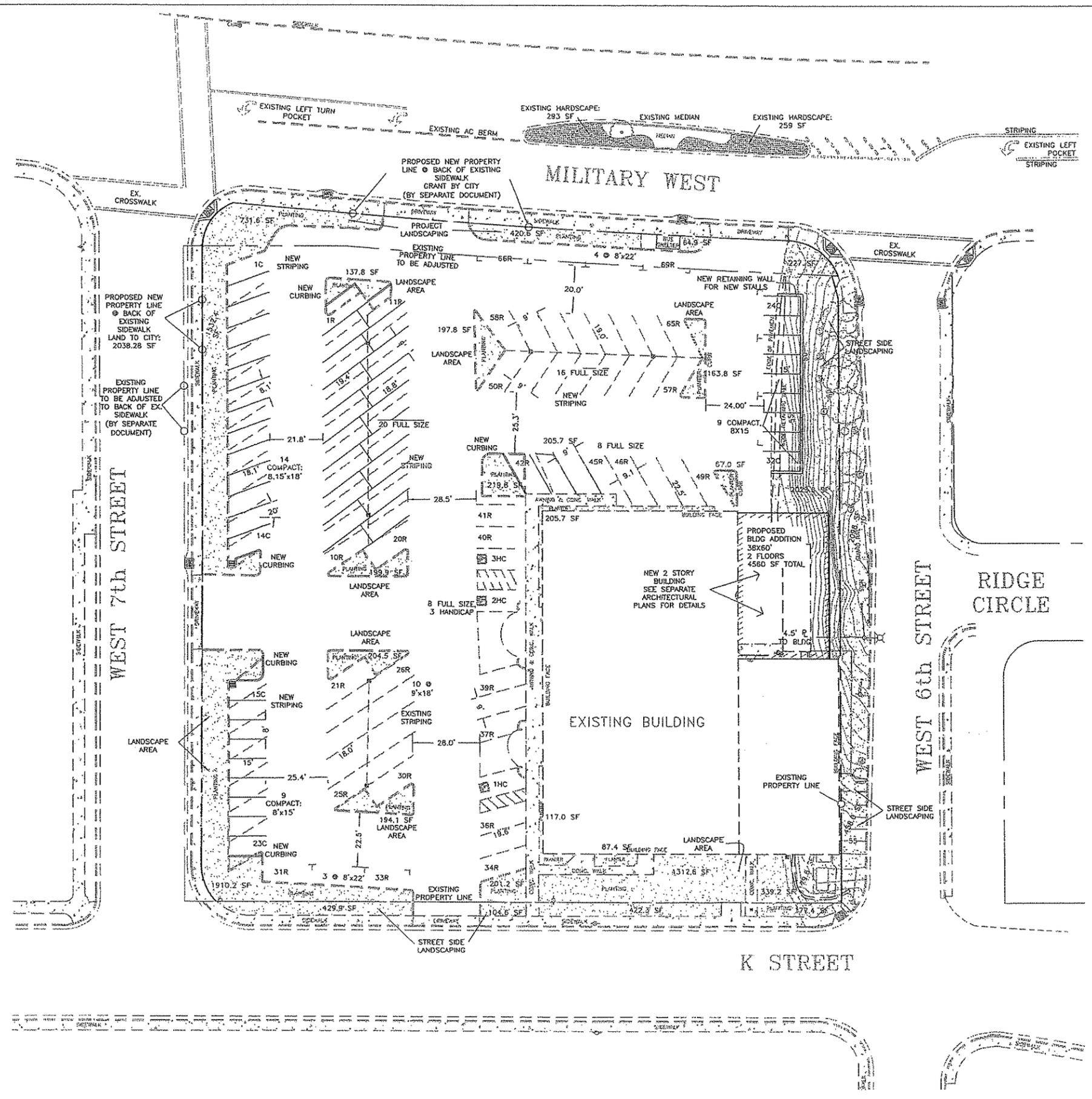
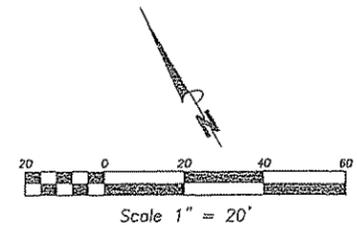
Ayes:

Noes:

Absent:

Abstain:

Toni Haughey
Historic Preservation Review Commission Chair



PARKING SUMMARY

EXISTING:	92 STALLS
PROPOSED: W/ NEW CURB MODIFICATIONS AS SHOWN	
104 STALLS:	
REGULAR (R):	69
COMPACT (C):	32 (31%)
HANDICAP (HC):	3

SITE SUMMARY

FOR NEW 4560 SF BUILDING (2 FLOORS OF 2280 SF/EA)
& PARKING MODIFICATIONS TO 104 STALLS
PROPOSED NEW ADDITION: 38X60, 2 FLOORS=4560 SF

PARKING: CURRENT	92
PROPOSED: WITH MINOR ON SITE CURB MODIFICATIONS, RESTRIPING, AND 9 NEW STALLS TOWARDS WEST 6th	
69 REGULAR	
32 COMPACT (31% OF TOTAL)	
3 HANDICAP	
104 TOTAL	

CURRENT SITE AREA:	72,234.67 SF
-DEED BACK PORTION OF 7th, FROM CURRENT PROPERTY TO BACK OF SIDEWALK:	(2,038.28 SF)
-ACQUIRE RIGHT OF WAY ALONG MILITARY WEST TO BACK OF SIDEWALK:	3,572.68 SF
NEW ADJUSTED SITE AREA:	73,769.07 SF

LANDSCAPING: SHOWN AS

REQUIRED LANDSCAPING @ 20% OF ADJUSTED SITE AREA:	14,753.81 SF
-CURRENT ONSITE:	9,293.8 SF
-ACQUIRE LANDSCAPING ON MILITARY SIDE:	1444.1
CURRENT STREET SIDE LANDSCAPING	
-WEST 6th (TO BACK OF CURB):	2556
-K ST. (TO BACK OF SIDEWALK):	1134.2 SF
TOTAL:	14,433.5 SF
	19.56 %, ROUNDED 20%

PARKING RECONFIGURATION & SITE SUMMARY
BENICIA HEALTH & FITNESS CENTER

SCALE: AS NOTED
DATE: 4-04-2011
DESIGN BY:
DRAWN BY: DC
CHECKED BY: DC
FIELD BOOK:
SHEET NUMBER:

Cullen-Sherry & Associates, Inc.
Civil Engineering - Surveying
1080 Adams Street, Suite A - P.O. Box 591, Benicia, California 94510
(707) 746-3819 Fax (707) 746-8456 csa-engineers.com
Dan Cullen RCS 28102 Rod Sherry RCS 01007

BENICIA HEALTH AND FITNESS CENTER

1150 West 7th Street, Benicia, California

REVISIONS	BY

SYMBOLS LEGEND	DEFERRED SUBMITTALS	BUILDING INFORMATION	SHEET INDEX
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SYMBOLS LEGEND

	DRAWING SYMBOL DRAWING NUMBER SHEET WHERE LOCATED		DATUM ELEVATION
	WALL SECTION SYMBOL DRAWING NUMBER SHEET WHERE LOCATED		DOOR NUMBER
	DETAIL KEY DRAWING NUMBER SHEET WHERE LOCATED		WINDOW TYPE SYMBOL
	DETAIL BUBBLE		BREAK LINE
	INTERIOR ELEVATION SYMBOL DRAWING NUMBER SHEET WHERE LOCATED ARROW POINTS TO WALLS DRAWN		REVISION SYMBOL REVISION NUMBER DRAWING AREA REVISION
	STRUCTURAL GRID LINES		FINISH WOOD
			CYPSUM BOARD
			BATT INSULATION
			CONCRETE

DEFERRED SUBMITTALS

ACK ENGINEERING AND SURVEYING IS THE ENGINEER OF RECORD AS REQUIRED BY THE COUNTY OF SOLANO. THE ENGINEER OF RECORD SHALL REVIEW SUBMITTALS AND COORDINATE SUBMITTALS AND DEFERRED SUBMITTALS THROUGH THE CITY. DEFERRED SUBMITTALS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE BUILDING OFFICIAL SHALL BE NOTIFIED IN WRITING BY THE OWNER IF THE ENGINEER OF RECORD IS CHANGED OR IS UNABLE TO CONTINUE TO PERFORM THE DUTIES. THE OWNER SHALL DESIGNATE A SUBSTITUTE ENGINEER OF RECORD WHO SHALL PERFORM ALL OF THE DUTIES REQUIRED OF THE ORIGINAL ENGINEER OF RECORD.

REVIEW AND COMMENTS ON SUBMITTALS AND DEFERRED SUBMITTALS SHALL NOT RELIEVE THE AUTHOR OF THE DOCUMENTS OR THE CONTRACTOR FROM COMPLIANCE WITH ALL APPLICABLE CODES AND THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS. REVIEW BY THE ENGINEER IS ONLY FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS; SELECTING FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATING HIS WORK WITH THAT OF OTHER TRADES; AND PERFORMING HIS WORK IN A SAFE AND SATISFACTORY MANNER.

REQUIRED DEFERRED SUBMITTALS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- ROOF TRUSSES
- SPRINKLER / FIRE SUPPRESSION SYSTEM
- FIRE ALARM SYSTEM

BUILDING INFORMATION	
BUILDING CONSTRUCTION TYPE	V-A, SPRINKLED
OCCUPANCY CLASSIFICATION	A-3, FITNESS CENTER
A.P.N.	0087-141-060

PROJECT DESCRIPTION

PROJECT CONSISTS OF:

AN 2-STORY ADDITION AT THE EAST SIDE OF EXISTING BUILDING.

CODE REVIEW INFORMATION

APPLICABLE CODES: ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS & CONSTRUCTION CRITERIA OF THE OWNER, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE OWNER'S CONTRACTOR. ALL PERMITS AND LICENCES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE OWNER'S CONTRACTOR(S).

ABBREVIATIONS

<p>A.C. AIR CONDITIONING</p> <p>A.C.TILE ACOUSTIC TILE</p> <p>ACCESS. ACCESSIBLE</p> <p>ACOUST. ACOUSTICAL</p> <p>A.D. AREA DRAIN</p> <p>ADJ. ADJACENT</p> <p>ADJST. ADJUSTABLE</p> <p>A.E.S. ABOVE EXISTING SLAB</p> <p>A.F.F. ABOVE FINISHED FLOOR</p> <p>AGGR. AGGREGATE</p> <p>AL. ALUMINUM</p> <p>ALUM. ALUMINUM</p> <p>APPROX. APPROXIMATELY</p> <p>ARCH. ARCHITECTURAL</p> <p>AT AT</p> <p>BD. BOARD</p> <p>BITUM. BITUMINOUS</p> <p>BLDG. BUILDING</p> <p>BLK. BLOCK</p> <p>BLK'G BLOCKING</p> <p>BM. BEAM</p> <p>B.O. BOTTOM OF</p> <p>BOT. BOTTOM</p> <p>CAB. CABINET</p> <p>CEM. CEMENT</p> <p>CER. CERAMIC</p> <p>C.I. CAST IRON</p> <p>C.L. CENTER LINE</p> <p>CLG. CEILING</p> <p>CLKG. CAULKING</p> <p>CLO. CLOSET</p> <p>CLR. CLEAR</p> <p>CNTR. COUNTER</p> <p>COL. COLUMN</p> <p>COM. COMPACT</p> <p>CONC. CONCRETE</p> <p>CONN. CONNECTION</p> <p>CONSTR. CONSTRUCTION</p> <p>CONT. CONTINUOUS</p> <p>CORR. CORRIDOR</p> <p>C.S.C.I. CONTRACTOR SUPPLIED CONTRACTOR INSTALLED</p>	<p>C.T. CERAMIC TILE</p> <p>CTR. CENTER</p> <p>CTSK. COUNTERSUNK</p> <p>DBL. DOUBLE</p> <p>DEPT. DEPARTMENT</p> <p>DET. DETAIL</p> <p>D.F. DRINKING FOUNTAIN</p> <p>DIA. DIAMETER</p> <p>DIM. DIMENSION</p> <p>DN. DOWN</p> <p>D.O. DOOR OPENING</p> <p>D.S.P. DRY STANDPIPE</p> <p>DTL. DETAIL</p> <p>DWG. DRAWING</p> <p>E. EAST</p> <p>(E) EXISTING</p> <p>E.A. EACH</p> <p>E.J. EXPANSION JOINT</p> <p>EL. ELEVATION</p> <p>ELEC. ELECTRICAL</p> <p>ELEV. ELEVATOR</p> <p>EMER. EMERGENCY</p> <p>ENCL. ENCLOSURE</p> <p>E.P. ELECTRICAL PANEL</p> <p>EQ. EQUAL</p> <p>EQPT. EQUIPMENT</p> <p>EXIST. EXISTING</p> <p>EXP. EXPANSION</p> <p>EXPO. EXPOSED</p> <p>EXT. EXTERIOR</p> <p>F.A. FIRE ALARM</p> <p>F.B. FLAT BAR</p> <p>F.D. FLOOR DRAIN</p> <p>FDN. FOUNDATION</p> <p>F.E.C. FIRE EXTINGUISHER CABINET</p> <p>F.H.C. FIRE HOSE CABINET</p> <p>FIN. FINISH</p> <p>FIXT. FIXTURE</p> <p>FLUOR. FLUORESCENT</p> <p>F.O. FACE OF</p> <p>F.O.C. FACE OF CONCRETE</p>	<p>F.O.F. FACE OF FINISH</p> <p>F.O.S. FACE OF STUDS</p> <p>F.P. FIRE PROOF</p> <p>F.PRF'G FIRE PROOFING</p> <p>F.R. FIRE RETARDANT</p> <p>F.T. FIRE TREATED</p> <p>FT. FOOT/FEET</p> <p>F.S. FULL SIZE</p> <p>FURR. FURRING</p> <p>GA. GAUGE</p> <p>GALV. GALVANIZED</p> <p>G.B. GRAB BAR</p> <p>G.C. GENERAL CONTRACTOR</p> <p>G.H. CARMENT HOOK</p> <p>GL. GLASS</p> <p>GND. GROUND</p> <p>GR. GRADE</p> <p>GSM. GALVANIZED SHEET METAL</p> <p>G.W.B. GYPSUM WALLBOARD</p> <p>GYP. GYPSUM</p> <p>GYPBD. GYPSUM BOARD</p> <p>H.B. HOSE BIBB</p> <p>H.C. HOLLOW CORE</p> <p>HD. HAND</p> <p>HWWD. HARDWOOD</p> <p>H.M. HOLLOW METAL</p> <p>HORIZ. HORIZONTAL</p> <p>HR. HOUR</p> <p>HT. HEIGHT</p> <p>ID. INSIDE DIAMETER</p> <p>INSUL. INSULATION</p> <p>INT. INTERIOR</p> <p>JAN. JANITOR</p> <p>JT. JOINT</p> <p>KIT. KITCHEN</p> <p>LAN. LAMINATE</p> <p>LAV. LAVATORY</p> <p>LT. LIGHT</p> <p>MAX. MAXIMUM</p> <p>MDF. MEDIUM DENSITY FIBERBOARD</p> <p>MECH. MECHANICAL</p> <p>MEMB. MEMBRANE</p>	<p>MFR. MANUFACTURER</p> <p>MIN. MINIMUM</p> <p>MIR. MIRROR</p> <p>MISC. MISCELLANEOUS</p> <p>M.O. MASONRY OPENING</p> <p>MTL. METAL</p> <p>MTD. MOUNTED</p> <p>MUL. MULLION</p> <p>MWC. MILLWORK CONTRACTOR</p> <p>N. NORTH</p> <p>(N) NEW</p> <p>N.I.C. NOT IN CONTRACT</p> <p>NO. NUMBER</p> <p>N.T.S. NOT TO SCALE</p> <p># NUMBER</p> <p>O.C. ON CENTER</p> <p>O.D. OUTSIDE DIAMETER</p> <p>OPN'G OPENING</p> <p>OPP. OPPOSITE</p> <p>OPP. HD. OPPOSITE HAND</p> <p>O.S.C.I. OWNER SUPPLIED CONTRACTOR INSTALLED</p> <p>PCS. PIECES</p> <p>PL. PLATE</p> <p>PLAM. PLASTIC LAMINATE</p> <p>PLAS. PLASTER</p> <p>PLYWD. PLYWOOD</p> <p>POL. POLISHED</p> <p>PT. POINT</p> <p>PTD. PAINTED</p> <p>PIN. PARTITION</p> <p>P.U. POLYURETHANE</p> <p>P.Y. POLYCARBONATE</p> <p>RAD. RADIUS</p> <p>RCP. REFLECTED CEILING PLAN</p> <p>REF. REFERENCE</p> <p>REFR. REFRIGERATOR</p> <p>REINF. REINFORCED</p> <p>REG. REGISTER</p> <p>REQ. REQUIRED</p> <p>RESIL. RESILIENT</p> <p>RET. RETARDANT</p>	<p>RM. ROOM</p> <p>R.O. ROUGH OPENING</p> <p>R.W.L. RAIN WATER LEADER</p> <p>S. SOUTH</p> <p>S.B.O. SUPPLIED BY OWNER</p> <p>S.C. SOLID CORE</p> <p>S.C.D. SEAT COVER DISPENSER</p> <p>SCH. SCHEDULE</p> <p>S.D. SOAP DISPENSER</p> <p>SECT. SECTION</p> <p>S.E.D. SEE ELECTRICAL DRAWINGS</p> <p>SH. SHELF</p> <p>SHR. SHOWER</p> <p>SHT. SHEET</p> <p>SM. SIMILAR</p> <p>S.M.D. SEE MECHANICAL DRAWINGS</p> <p>S.P.D. SEE PLUMBING DRAWINGS</p> <p>SPEC. SPECIFICATION</p> <p>SPEC'D SPECIFIED</p> <p>SO. SQUARE</p> <p>S.S.D. SEE STRUCTURAL DRAWINGS</p> <p>SST. STAINLESS STEEL</p> <p>STD. STANDARD</p> <p>STL. STEEL</p> <p>STRUCT. STRUCTURAL</p> <p>SUSP. SUSPENDED</p> <p>SYM. SYMMETRICAL</p> <p>T. TREAD</p> <p>T.B. TOWEL BAR</p> <p>TC. TOP OF CURB</p> <p>TEMP. TEMPERED</p> <p>THK. THICK</p> <p>T.O. TOP OF</p> <p>T.O.C. TOP OF CONCRETE</p> <p>T.O.S. TOP OF SLAB</p> <p>T.S. TUBE STEEL</p> <p>TYP. TYPICAL</p> <p>UNEQ. UNEQUAL</p> <p>U.O.N. UNLESS OTHERWISE NOTED</p> <p>V.I.F. VERIFY IN FIELD</p> <p>VERT. VERTICAL</p> <p>W. WEST</p> <p>W/W. WITH</p> <p>W.C. WATER CLOSET</p> <p>WO. WOOD</p> <p>WOOD. WOOD</p> <p>W/O. WITHOUT</p> <p>WP. WALLPAPER</p> <p>WT. WEIGHT</p>
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CODES & STANDARDS

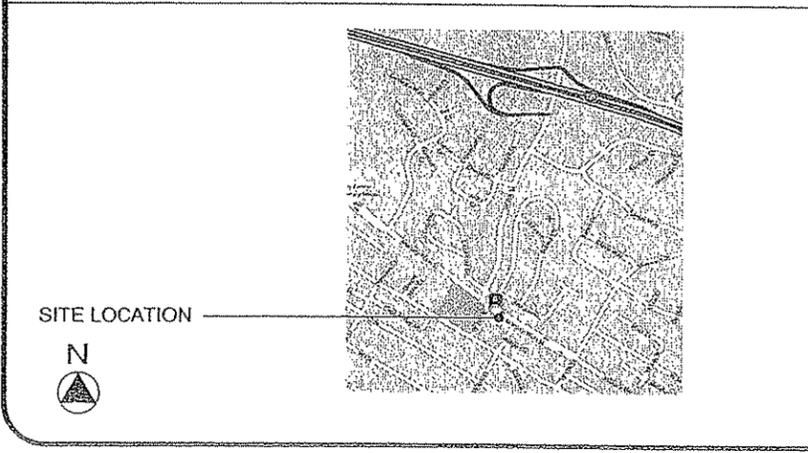
APPLICABLE CODES INCLUDE FOLLOWING:

BUILDING & STRUCTURAL:	2007 CALIFORNIA BUILDING CODE
PLUMBING:	2007 CALIFORNIA PLUMBING CODE
MECHANICAL:	2007 CALIFORNIA MECHANICAL CODE
ELECTRICAL:	2007 CALIFORNIA ELECTRICAL CODE
FIRE PROTECTION:	2007 CALIFORNIA FIRE CODE
ENERGY:	2007 CALIFORNIA ENERGY CODE

SHEET INDEX

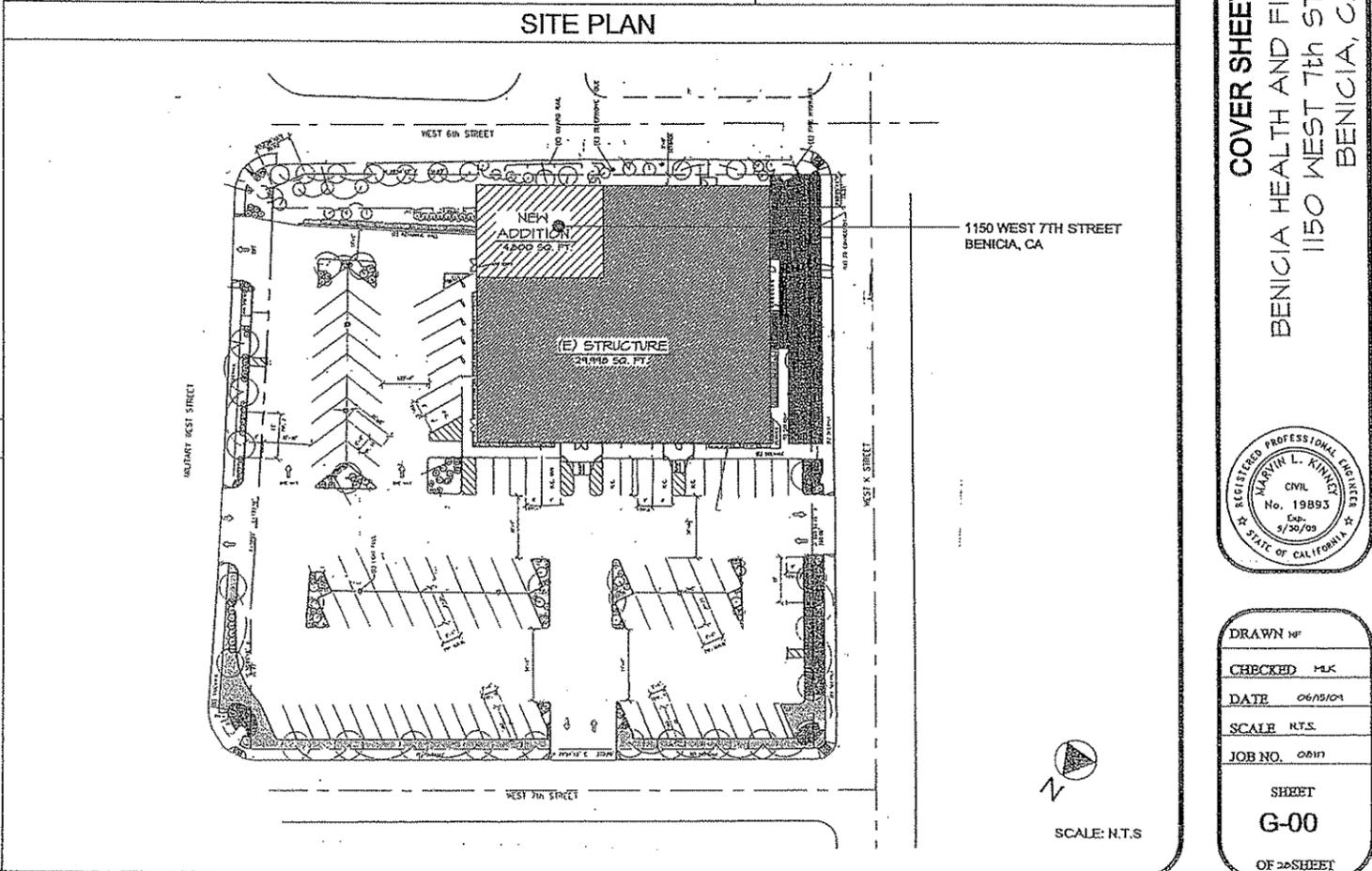
ARCHITECTURAL DRAWINGS	
G-00	COVER SHEET
G-01	STANDARD ACCESSIBILITY GUIDELINES
G-02	GENERAL NOTES
G-03	1ST FLOOR OCCUPANCY CALCULATIONS, EXITING AND ADA DIAGRAMS
G-04	2ND FLOOR OCCUPANCY CALCULATIONS, EXITING AND ADA DIAGRAMS
T-24-1	TITLE 24 CALCULATIONS
T-24-2	TITLE 24 CALCULATIONS
T-24-3	TITLE 24 CALCULATIONS
CIVIL DRAWINGS	
C-1	NOTES
C-2	SITE PLAN
STRUCTURAL DRAWINGS	
S-1	STRUCTURAL DETAILS AND SPECIFICATIONS
S-2	FOUNDATION PLAN
S-3	2ND FLOOR FRAMING PLAN/ 1st WALL SHEAR WALL PLAN
S-4	ROOF PLAN/ 2ND FLOOR SHEARWALL PLAN
S-5	FOUNDATION DETAILS
S-6	FRAMING DETAILS
MECHANICAL DRAWINGS	
M-1	1st FLOOR MECHANICAL PLAN
M-2	2nd FLOOR MECHANICAL PLAN
ELECTRICAL DRAWINGS	
E-1	1st FLOOR ELECTRICAL PLAN
E-2	2nd FLOOR ELECTRICAL PLAN

VICINITY MAP



PROJECT DIRECTORY

PROJECT OWNER:	NORMAN KOERNER 1150 WEST 7TH STREET BENICIA, CA 94510 PHONE: (425) 705-0643
PROJECT ENGINEER:	MARVIN L. KINNEY ACK ENGINEERING AND SURVEYING 600 MARIN ST., SUITE 15 VALLEJO, CA 94590 PHONE: (707) 646-8818
TITLE 24:	JESSE CASTILLO-ECCS 8368 SOUTH HAMPTON ROAD 1100 BENICIA, CA 94510 PHONE: (707) 146-1274
GENERAL CONTRACTOR:	JIM BENNETT

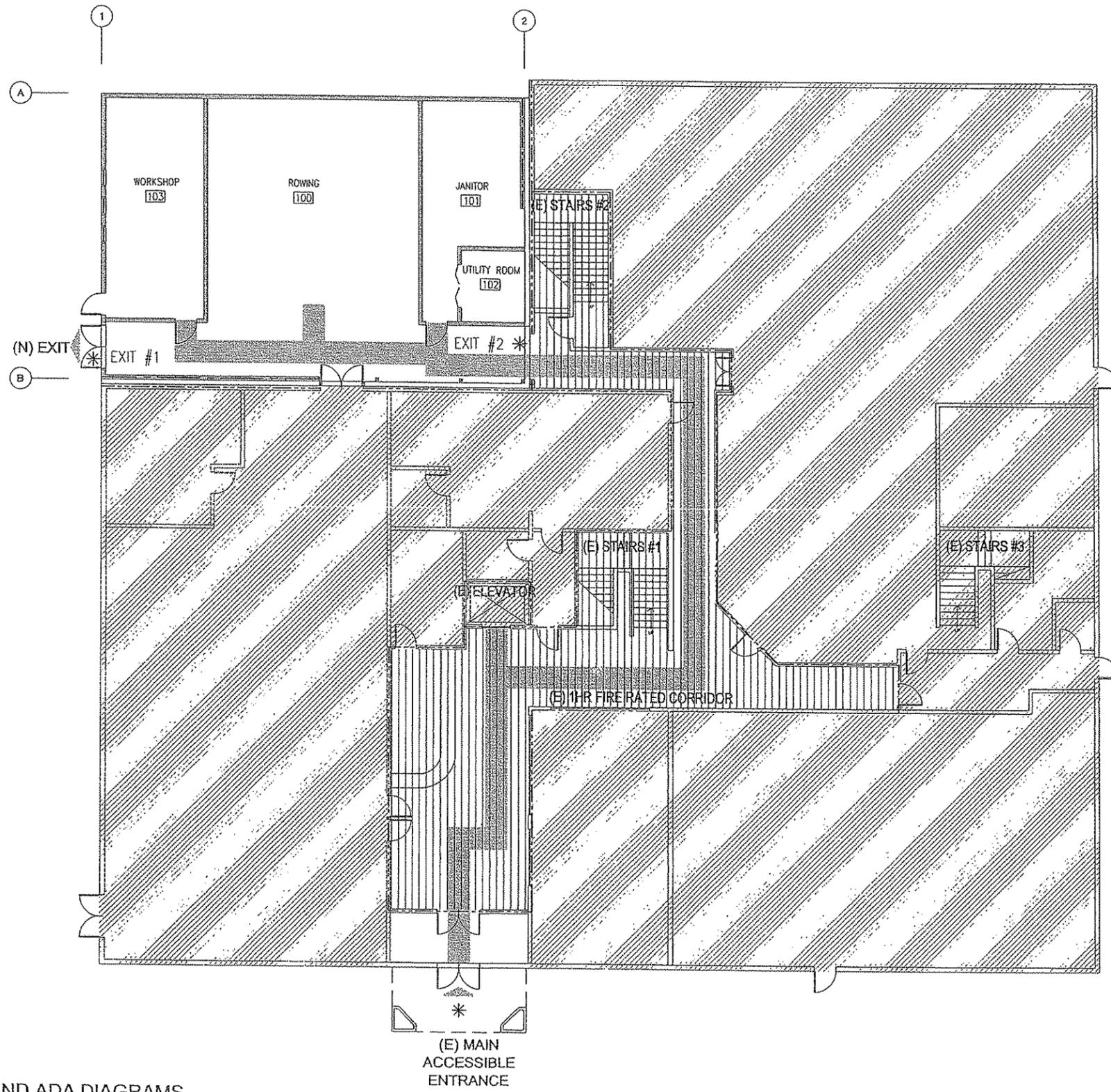


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COVER SHEET
 BENICIA HEALTH AND FITNESS CENTER
 1150 WEST 7TH STREET
 BENICIA, CA



DRAWN BY	
CHECKED BY	MJK
DATE	06/15/09
SCALE	N.T.S.
JOB NO.	0619
SHEET	G-00
OF 28 SHEETS	



1ST FLOOR EXITING AND ADA DIAGRAMS
SCALE: 1/8"=1'-0"

LEGEND

- (E) WALL ASSEMBLY TO REMAIN
- (N) WALL ASSEMBLY
- (E) 1HR FIRE RATED CORRIDOR
- (E) BUILDING, NOT IN SCOPE OF WORK
- (N) 1HR FIRE RATED WALL ASSEMBLY
- (E) 1HR FIRE RATED WALL ASSEMBLY

OCCUPANCY CALCULATIONS
per 2007 CBC, table 1004.1.1 and 1004.7

ROOM NUMBER	ROOM NAME	AREA (S.F.)	FLOOR AREA PER OCCUPANT	OCCUPANT LOAD SIGN REQUIRED	EXITS REQUIRED/ EXITS PROVIDED	NUMBER OF OCCUPANTS
100	ROWING	1384 S.F.	50	YES	1/ 2	28
101	JANITOR	334 S.F.	300	NO	1/ 1	1
102	UTILITY ROOM	83 S.F.	300	NO	1/ 1	1
103	WORKSHOP	428 S.F.	300	NO	1/ 2	2
200	AEROBICS ROOM	2285 S.F.	50	YES	1/ 1	46
TOTAL: 78						

EXIT WIDTH REQUIRED = 78 x 0.2 = 15'
EXIT WIDTH PROVIDED = 108'

NUMBER OF PROVIDED WOMEN'S AND MEN'S RESTROOMS SATISFIES THE REQUIREMENTS FOR THE MIN. NUMBER OF PLUMBING FACILITIES PER TABLE 4-1, CPC 2007.

COMPLY WITH POSTING OF ROOM CAPACITY PER FIRE CODE 2501.16.1 TITLE 24, SECTION 1007.2.6 (SUBJECT TO FIELD INSPECTION APPROVAL). THE MAXIMUM OCCUPANT LOAD OF AN ASSEMBLY SPACE SHALL NOT EXCEED THE OCCUPANT LOAD AS DETERMINED IN ACCORDANCE WITH TITLE 24 SECTION 1003.2.2, TABLE 10A

LEGEND

- * EXIT DOOR
- 36" MIN. WIDE ACCESSIBLE PATH OF TRAVEL

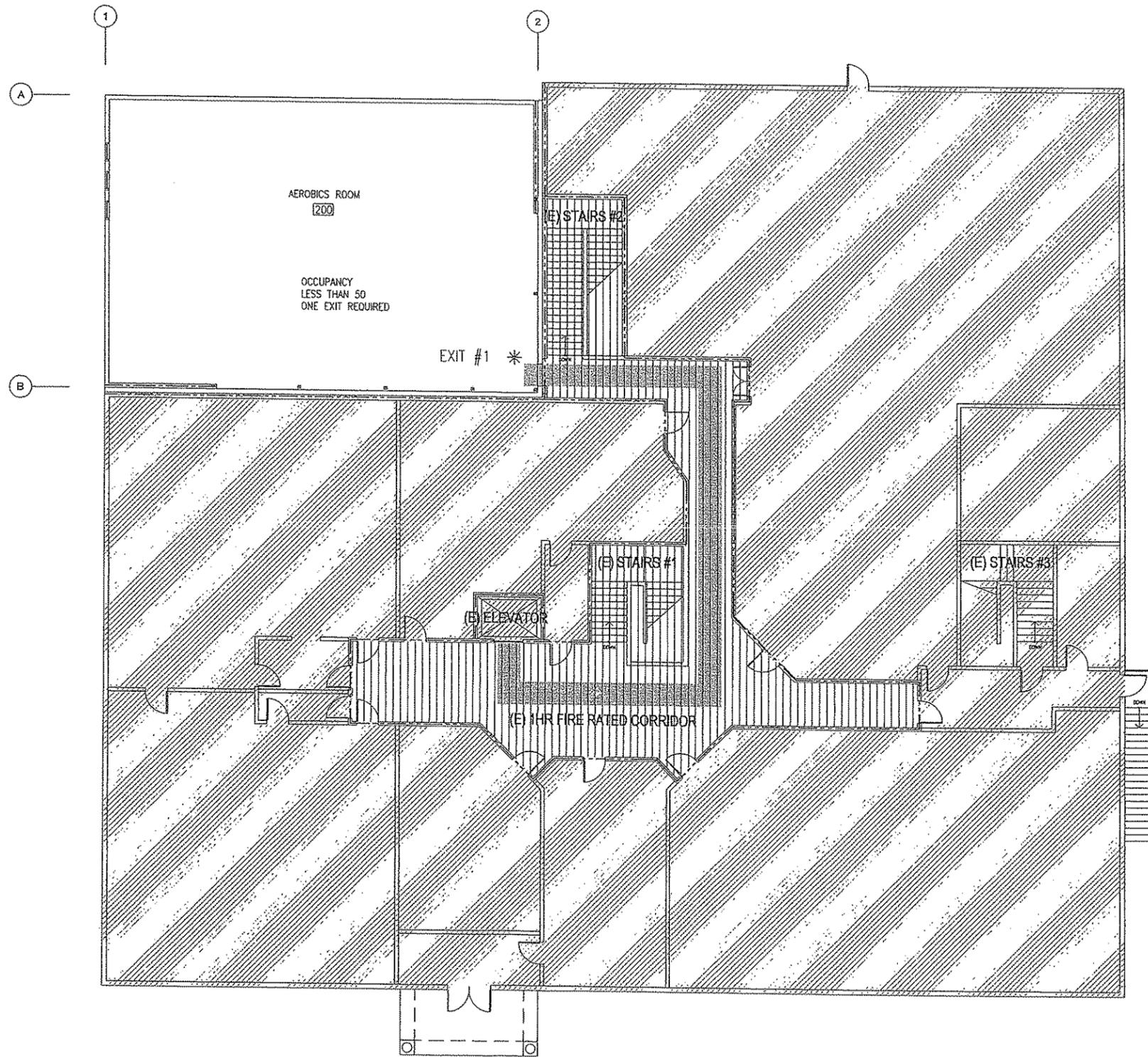
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OCCUPANCY CALCULATIONS, EXITING AND ADA DIAGRAMS
BENICIA HEALTH AND FITNESS CENTER
1150 WEST 7th STREET
BENICIA, CA



DRAWN BY: [Blank]
CHECKED: M.K.
DATE: 01/26/10
SCALE: 1/8"=1'-0"
JOB NO.: 08117
SHEET
G-03
OF 20 SHEET



2ND FLOOR EXITING AND ADA DIAGRAMS
SCALE: 1/8"=1'-0"

LEGEND

- (E) WALL ASSEMBLY TO REMAIN
- (H) WALL ASSEMBLY
- (E) 1HR FIRE RATED CORRIDOR
- (E) BUILDING, NOT IN SCOPE OF WORK
- (H) 1HR FIRE RATED WALL ASSEMBLY
- (E) 1HR FIRE RATED WALL ASSEMBLY

OCCUPANCY CALCULATIONS
per 2007 CBC, table 1004.1.1 and 1004.7

ROOM NUMBER	ROOM NAME	AREA (S.F.)	FLOOR AREA PER OCCUPANT	OCCUPANT LOAD SIGN REQUIRED	EXITS PROVIDED/EXITS REQUIRED	NUMBER OF OCCUPANTS
100	ROWING	1384 S.F.	50	YES	1/ 2	26
101	JANITOR	334 S.F.	300	NO	1/ 1	1
102	UTILITY ROOM	83 S.F.	300	NO	1/ 1	1
103	WORKSHOP	428 S.F.	300	NO	1/ 2	2
200	AEROBICS ROOM	2285 S.F.	50	YES	1/ 1	46
TOTAL: 76						
EXIT WIDTH REQUIRED = 76 x 0.2 = 15'						
EXIT WIDTH PROVIDED = 108'						

NUMBER OF PROVIDED WOMEN'S AND MEN'S RESTROOMS SATISFIES THE REQUIREMENTS FOR THE MIN. NUMBER OF PLUMBING FACILITIES PER TABLE 4-1, CPC 2007.

COMPLY WITH POSTING OF ROOM CAPACITY PER FIRE CODE 2501.16.1 TITLE 24, SECTION 1007.2.6 (SUBJECT TO FIELD INSPECTION APPROVAL). THE MAXIMUM OCCUPANT LOAD OF AN ASSEMBLY SPACE SHALL NOT EXCEED THE OCCUPANT LOAD AS DETERMINED IN ACCORDANCE WITH TITLE 24 SECTION 1003.2.2, TABLE 10A

LEGEND

- * EXIT DOOR
- 36" MIN. WIDE ACCESSIBLE PATH OF TRAVEL

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OCCUPANCY CALCULATIONS, EXITING AND ADA DIAGRAMS
BENICIA HEALTH AND FITNESS CENTER
1150 WEST 7th STREET
BENICIA, CA



DRAWN BY
CHECKED MJK
DATE 01/26/10
SCALE 1/8"=1'-0"
JOB NO. 06017
SHEET
G-04
OF 26 SHEET

GENERAL NOTES	KEY NOTES
1. ALL INTERIOR PARTITIONS TO BE PAINTED GYP. BD. (CONTRACTOR TO VERIFY WITH OWNER FINAL COLOR) 2. ALL LIGHT FIXTURES TO BE EQUALLY SPACED AND/OR CENTERED IN THE ROOM (COORDINATE LOCATION WITH MECHANICAL REGISTERS AND SKYLIGHTS) 3. MECHANICAL REGISTERS TO BE EQUALLY SPACED AND/OR CENTERED IN THE ROOM (COORDINATE LOCATION WITH LIGHT FIXTURES AND SKYLIGHTS) 4. CONFIRM ALL ROUGH OPENING DIMENSIONS FOR DOOR PRIOR TO COMMENCEMENT OF CONSTRUCTION. 5. PROVIDE FIRE BLOCKING IN CONCEALED SPACES AT 10'-0" MAX. INTERVALS. WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER DUCTS, PIPING, CONDUIT, ETC., THE LARGER STUD SIZE OR FURRING SHALL BE PROVIDED AND SHALL EXTEND THE FULL SURFACE OF THE WALL LENGTH AND HEIGHT WHERE THE FURRING OCCURS.	① (N) FINISH FLOOR HEIGHT NOT TO EXCEED 1/2" DIFFERENCE RELATIVE TO (E) FINISH FLOOR AT (E) BUILDING ② (N) FLOOR EXPANSION JOINT ③ OPEN CEILING STRUCTURE ABOVE ④ SEE ELEVATION SHEET A-3.0 FOR SILL HEIGHTS ⑤ (N) 2' x 8' SKYLIGHTS ABOVE. SEE DETAIL 3, SHEET A-8.1 ⑥ FSK COVERED BATT INSULATION BETWEEN OPEN WEB TRUSSES ABOVE ⑦ REMOVE PORTION OF (E) WALL ASSEMBLY TO ACCOMMODATE (N) DOOR ASSEMBLY ⑧ (N) CONCRETE LANDING

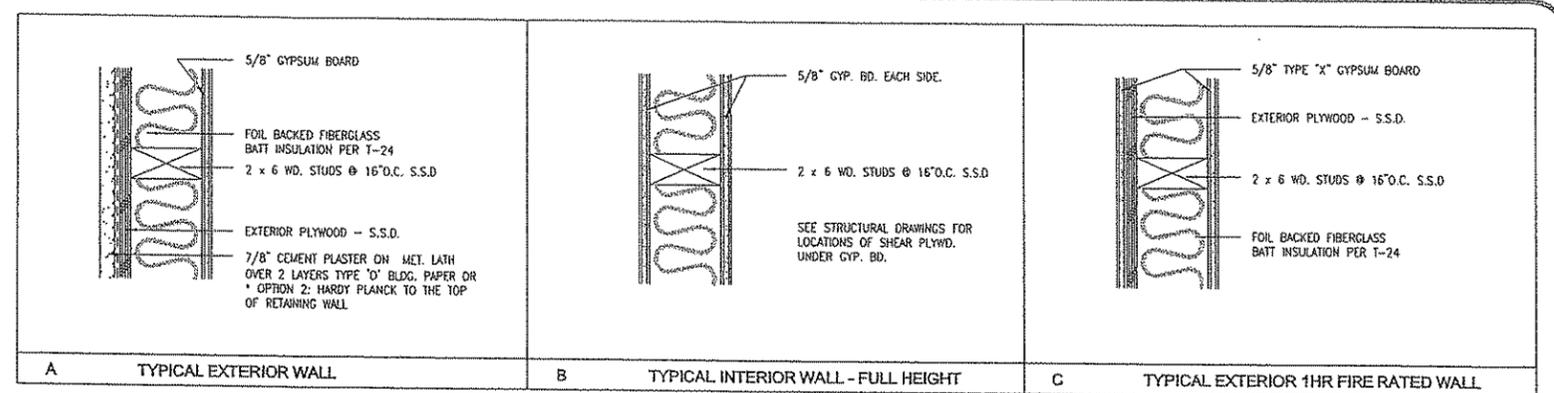
LEGEND	WINDOW SCHEDULE
(E) WALL ASSEMBLY TO REMAIN (N) WALL ASSEMBLY (E) 1HR FIRE RATED CORRIDOR (E) BUILDING, NOT IN SCOPE OF WORK (N) 1HR FIRE RATED WALL ASSEMBLY (E) 1HR FIRE RATED WALL ASSEMBLY	WINDOW SCHEDULE 2'-6" TYPE "1" FIXED WINDOW WITH DOUBLE PANE GLASS SEE DETAILS 5 AND 6, SHEET A-8.0

DOOR SCHEDULE						
NUMBER	SIZE	FRAME	HARDWARE	TYPE	NOTES	FIRE RATING
100A	78" OPEN DOORWAY	HOLLOW METAL	-	-	INTERIOR	NO
100B	EXISTING	EXISTING	-	-	-	20 MIN.
100C	DBL. 3'-0"x6'-8"	HOLLOW METAL	PANIC	A	EXTERIOR	NO
101	3'-0"x6'-8"	HOLLOW METAL	-	B	INTERIOR	NO
102	DBL. 3'-0"x6'-8"	HOLLOW METAL	-	C	INTERIOR	NO
103A	3'-0"x6'-8"	HOLLOW METAL	-	B	INTERIOR	NO
103B	3'-0"x6'-8"	HOLLOW METAL	PANIC	B	EXTERIOR	NO
200	48" OPEN DOORWAY	HOLLOW METAL	-	-	INTERIOR	-

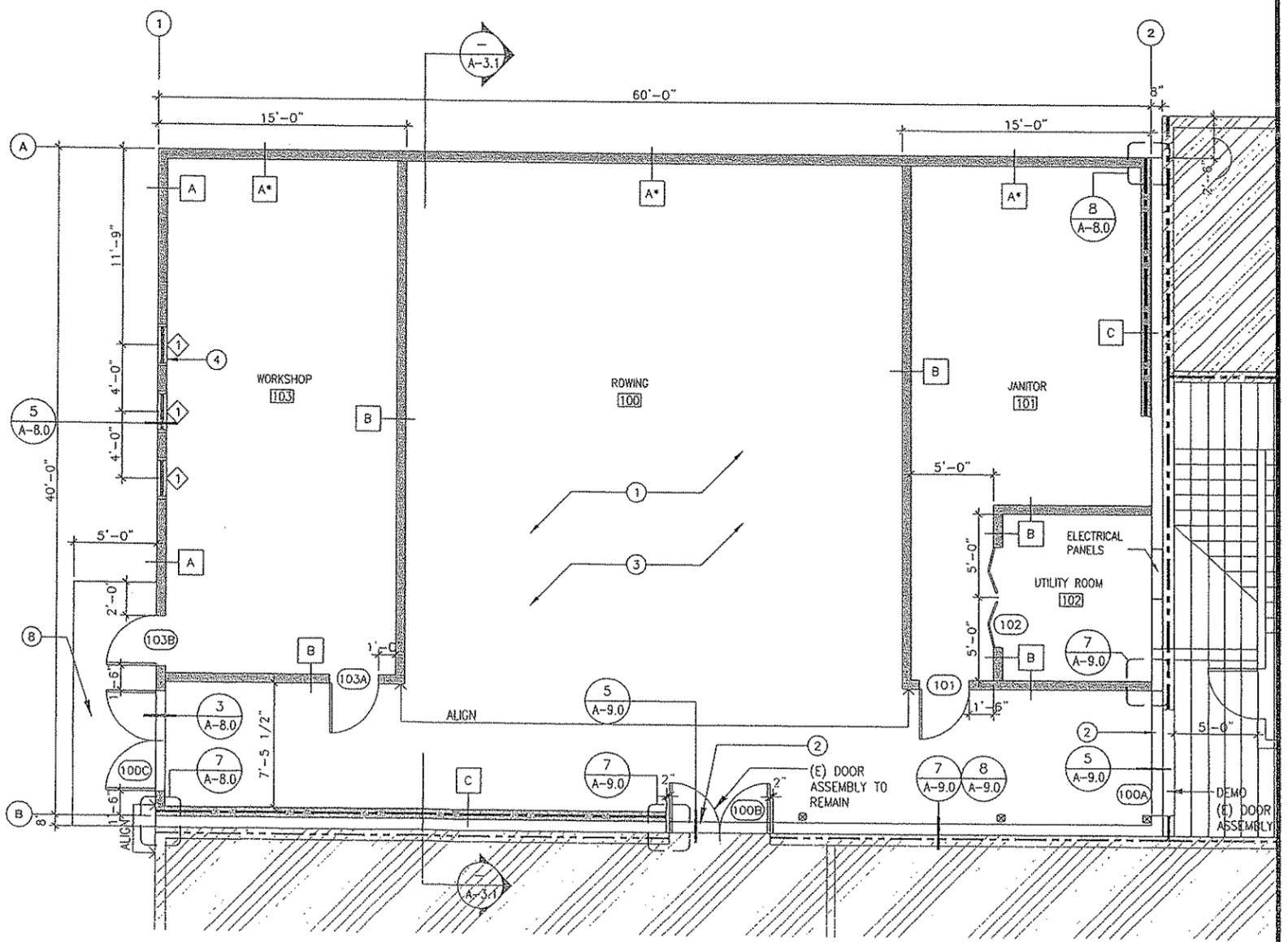
TYPE "A"
HOLLOW METAL
DOOR

TYPE "B"
HOLLOW METAL
DOOR

TYPE "C"
WOOD ACCORDION
DOOR WITH LOUVERS



PARTITION TYPES
SCALE: N.T.S.



1ST FLOOR PLAN
SCALE: 1/4"=1'-0"



REVISIONS	BY

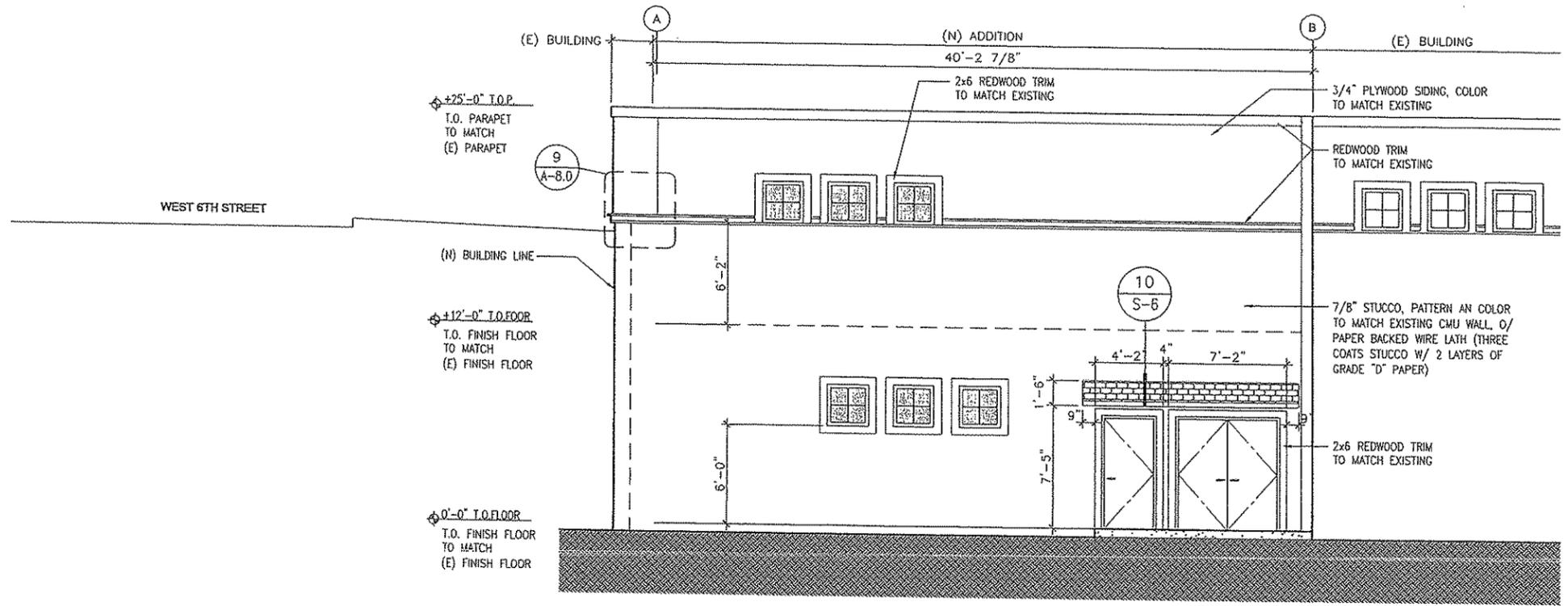
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1ST FLOOR PLAN, WALL TYPES, DOOR-WIND. SCHEDULE
BENICIA HEALTH AND FITNESS CENTER
1150 WEST 7th STREET
BENICIA, CA

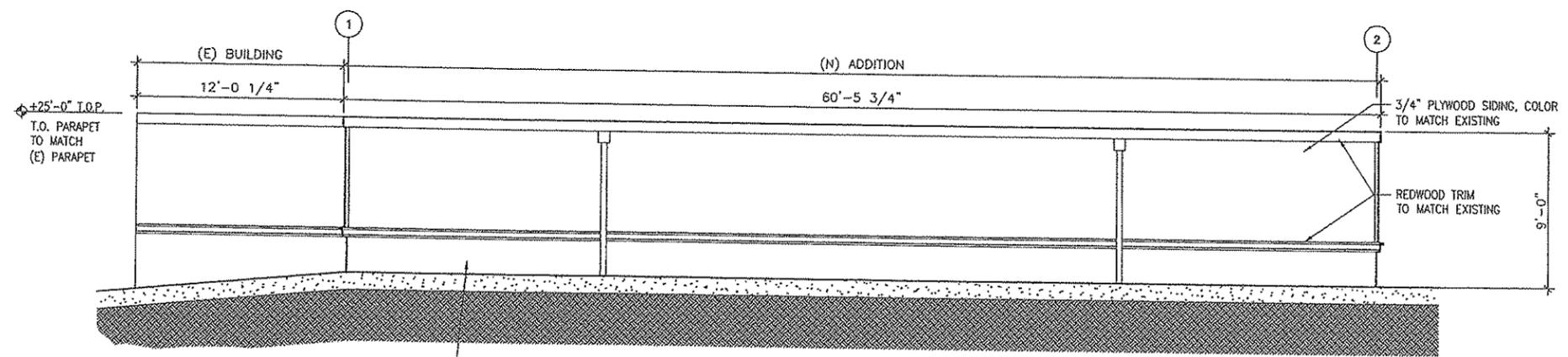


DRAWN BY	MLK
CHECKED	MLK
DATE	09/16/10
SCALE	1/4" = 1'-0"
JOB NO.	0817

SHEET
A-2.0
OF 26 SHEETS



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

7/8" STUCCO, PATTERN AN COLOR TO MATCH EXISTING CMU WALL. 0/ PAPER BACKED WIRE LATH (THREE COATS STUCCO W/ 2 LAYERS OF GRADE "D" PAPER) OR * OPTION 2: HARDY PLANK TO THE TOP OF RETAINING WALL

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ELEVATIONS
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1150 WEST 7th STREET
BENICIA, CA



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SCALE	1/4" = 1'-0"
JOB NO.	0817
SHEET	A-3.0
OF 26 SHEET	

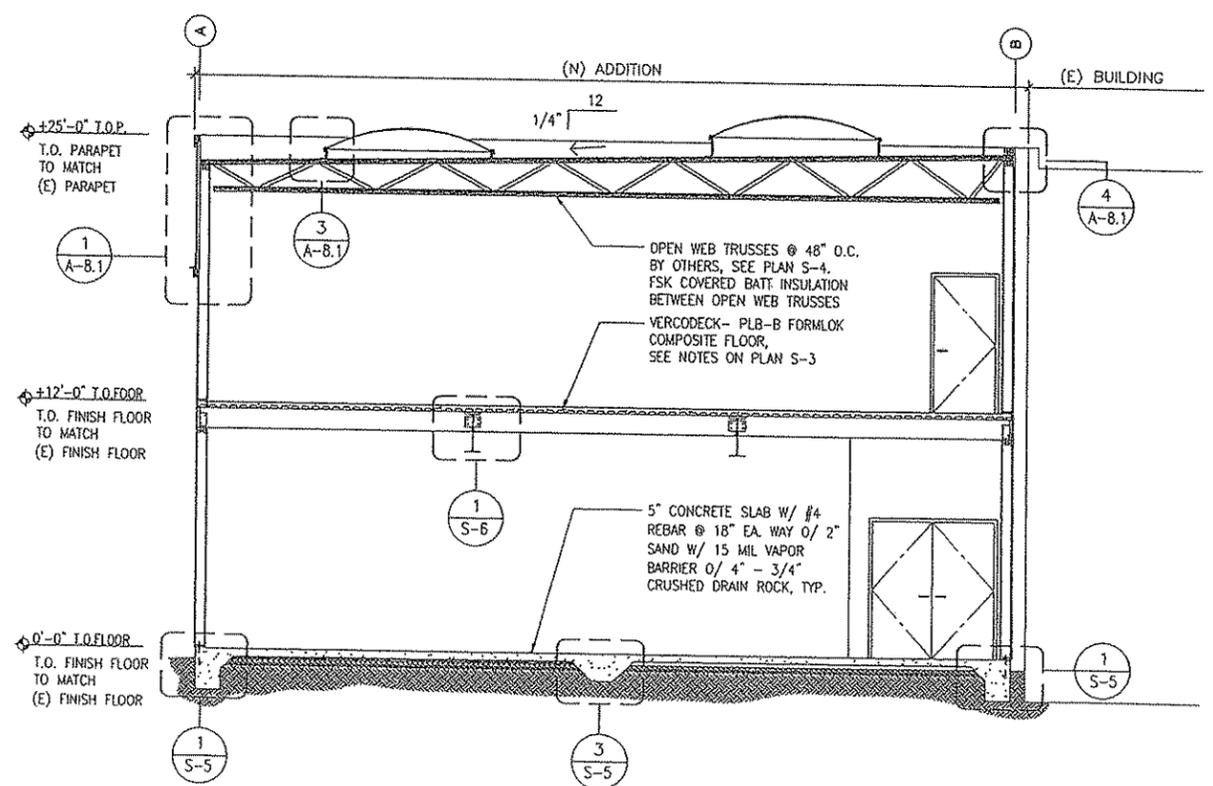
REVISIONS	BY

A.C.K. Engineering & Surveying
 600 Main St. #5
 Vallejo, Ca. 94590
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SECTION
BENICIA HEALTH AND FITNESS CENTER
1150 WEST 7th STREET
BENICIA, CA



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Public Works & Community Development Department
MEMORANDUM

Date: May 19 2011
To: Historic Preservation Review Commission
From: Gina Eleccion, Management Analyst
Re: Update - Amendment to Title 17.54

In January 2010, the Historic Preservation Review Commission reviewed a draft amendment to Title 17.54, which addresses the listing process for historic resources. That amendment was temporarily put on hold due to staff's work on the Historic Context, as well as other non-historic projects, including the City's Strategic Plan process and Budget.

Since the January 2010 meeting, staff has submitted a draft of the ordinance revisions to the State Office of Historic Preservation. OHP provided comments and recommendations on the document. Currently, the document is being revised to include the recommendations from OHP. A revised red-lined version of the ordinance will be agendized for the June or July HPRC meeting.

This memo is intended to keep the commission informed as to the status of the ordinance changes. We look forward to reviewing the final document and receiving your comments.