

July 28, 2011

BENICIA HISTORIC PRESERVATION REVIEW COMMISSION

REGULAR MEETING AGENDA

City Hall Commission Room

Thursday, July 28, 2011

6:30 P.M.

I. OPENING OF MEETING:

A. Pledge of Allegiance

B. Roll Call of Commissioners

C. Reference to Fundamental Rights of Public - A plaque stating the Fundamental Rights of each member of the public is posted at the entrance to this meeting room per Section 4.04.030 of the City of Benicia's Open Government Ordinance.

II. ADOPTION OF AGENDA:

III. OPPORTUNITY FOR PUBLIC COMMENT

This portion of the meeting is reserved for persons wishing to address the Commission on any matter not on the agenda that is within the subject matter jurisdiction of the Historic Preservation Review Commission. State law prohibits the Commission from responding to or acting upon matters not listed on the agenda. Each speaker has a maximum of five minutes for public comment. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of your entire group. Speakers may not make personal attacks on commissioners, staff or members of the public, or make comments which are slanderous or which may invade an individual's personal privacy.

A. WRITTEN COMMENT

B. PUBLIC COMMENT

IV. PRESENTATIONS

V. CONSENT CALENDAR

Consent Calendar items are considered routine and will be enacted, approved or adopted by one motion unless a request for removal for discussion or explanation is received from the Historic Preservation Review Commission or a member of the public by submitting a speaker slip for that item.

*Any Item identified as a Public Hearing has been placed on the Consent Calendar because it has not generated any public interest or dissent. However, if any member of the public wishes to comment on a Public Hearing item, or would like the item placed on the regular agenda, please notify the Community Development Staff either prior to, or at the Historic Preservation Review Commission meeting, prior to the reading of the Consent Calendar.

A. [Approval of Minutes](#) of June 23, 2011

VI. REGULAR AGENDA ITEMS

963 JEFFERSON STREET – DESIGN REVIEW

08PLN-00028 – Design Review

963 Jefferson Street,

APNs: 0080-150-020 and 0080-150-030

PROPOSAL:

The property owner requests design review approval to rehabilitate the Officers Quarters Duplex located at 963 Jefferson Street in the Benicia Arsenal Historic District for future use as a Bed and Breakfast Inn and Restaurant. The primary elements of the proposed project include:

1. Demolition of the existing brick moat retaining wall and enlargement of the moat on the east, south and west facades that includes the construction of a new moat with a concrete-masonry unit (CMU) retaining wall;

2. Reconstruction of the east veranda, including replacement of the existing sandstone piers with a CMU wall that will also serve as the expanded moat retaining wall, restoration of the original wood balustrades and replacement of the wood Corinthian columns with polymer replicas;
3. Reconstruction and enlargement of the moat at the northwest corner of the building that will function as a sub-grade courtyard and be used for restaurant dining. The new courtyard will span approximately 35-feet at its widest area and extend approximately 80-feet along the west-facing façade. The removal of a mature sycamore tree will be necessary to construct this element; and
4. Reconstruction and enlargement of the south-facing entry porch that includes constructing the base with CMU and cladding with stucco or covered with wood lattice, constructing new stairs, new polymer Corinthian columns to support the roof, restoring the original pilasters, constructing a new porch roof and replacing wood tongue-and-groove decking.

Recommendation: Approve a design review request for exterior modifications to the existing Officers Quarters Duplex located at 963 Jefferson Street, based on recommended modifications by staff, the findings and subject to the conditions of approval set forth in the proposed resolution.

B. STREETLIGHT IMPROVEMENTS FOR THE BENICIA INTERMODAL FACILITIES PROJECT AT FIRST AND MILITARY

PROPOSAL:

As part of the Intermodal Facilities Project, streetlight improvements are proposed in the vicinity of First and Military. The proposed streetlight improvements implement a number of Benicia Main Street's recommendations to the maximum extent allowable by the grant, which requires that improvements be constructed within the defined project area and provide connectivity to the transit stop. The Commission is being asked to review the locations and styles of the proposed historic-style streetlights. No other aspects of the project will be reviewed or discussed.

Recommendation: Recommend that, as part of the downtown Intermodal project, existing streetlights be replaced with the historic gooseneck streetlights along Military West and First Street between West 2nd and West K and historic lantern pedestrian streetlights be installed in the planter strip along West 2nd between West K and Military West.

VII. COMMUNICATIONS FROM STAFF

A. CALIFORNIA PRESERVATION FOUNDATION DESIGN AWARD – HISTORIC CONTEXT STATEMENT

VIII. COMMUNICATIONS FROM COMMISSIONERS

IX. ADJOURNMENT

Public Participation

The Benicia Historic Preservation Review Commission welcomes public participation.

Pursuant to the Brown Act, each public agency must provide the public with an opportunity to speak on any matter within the subject matter jurisdiction of the agency and which is not on the agency's agenda for that meeting. The Historic Preservation Review Commission allows speakers to speak on agendized and non-agendized matters under public comment. Comments are limited to no more than 5 minutes per speaker. By law, no action may be taken on any item raised during the public comment period although informational answers to questions may be given and matters may be referred to staff for placement on a future agenda of the Historic Preservation Review Commission.

Should you have material you wish to enter into the record, please submit it to the Commission Secretary.

Disabled Access

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting, please contact the ADA Coordinator at (707) 746-4211. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Meeting Procedures

All items listed on this agenda are for Commission discussion and/or action. In accordance with the Brown Act, each item is listed and includes, where appropriate, further description of the item and/or a recommended action. The posting of a recommended action does not limit, or necessarily indicate, what action the Commission may take.

The Historic Preservation Review Commission may not begin new public hearing items after 11 p.m. Public hearing items, which remain on the agenda, may be continued to the next regular meeting of the Commission, or to a special meeting.

Pursuant to Government Code Section 65009; if you challenge a decision of the Historic Preservation Review Commission in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Historic Preservation Review Commission at, or prior to, the Public Hearing. You may also be limited by the ninety (90) day statute of limitations in which to file and serve a petition for administrative writ of mandate challenging any final City decisions regarding planning or zoning.

Appeals of Historic Preservation Review Commission decisions that are final actions, not recommendations, are considered by the Planning Commission. Appeals must be filed in the Public Works & Community Development Department in writing, stating the basis of appeal with the appeal fee within 10 business days of the date of action.

Public Records

The agenda packet for this meeting is available at the City Clerk's Office, the Benicia Public Library and the Public Works & Community Development Department during regular working hours. The Public Works & Community Development Department is open Monday through Friday (except legal holidays), 8:30 a.m. to 5 p.m. (closed from noon to 1 p.m.). Technical staff is available from 8:30 - 9:30 a.m. and 1:00 - 2:00 p.m. only. If you have questions/comments outside of those hours, please call 746-4280 to make an appointment. To the extent feasible, the packet is also available on the City's web page at www.ci.benicia.ca.us under the heading "Agendas and Minutes." Public records related to an open session agenda item that are distributed after the agenda packet is prepared are available before the meeting at the Public Works & Community Development Department's office located at 250 East L Street, Benicia, or at the meeting held in the City Hall Commission Room. If you wish to submit written information on an agenda item, please submit to Gina Eleccion, Management Analyst, as soon as possible so that it may be distributed to the Historic Preservation Review Commission.

 [Minutes of June 23, 2011](#)

 [963 Jefferson Report \(pdf\)](#)

 [Staff Report Streetlight Improvements for Intermodal Facilities](#)

 [California Preservation Foundation Design Award](#)



**BENICIA HISTORIC PRESERVATION REVIEW COMMISSION
REGULAR MEETING MINUTES**

**City Hall Commission Room
Thursday, June 23, 2011
6:30 P.M.**

I. OPENING OF MEETING:

- A. Pledge of Allegiance**
- B. Roll Call of Commissioners**

Present:
Commissioners Crompton, Mang, McKee, Taagepera, Van Landschoot, White and Chair Haughey

Absent:
None

Staff Present:
Doug Vu, Associate Planner
Gina Eleccion, Management Analyst

- C. Reference to Fundamental Rights of Public** - A plaque stating the Fundamental Rights of each member of the public is posted at the entrance to this meeting room per Section 4.04.030 of the City of Benicia's Open Government Ordinance.

II. ADOPTION OF AGENDA:

On motion of Commissioner White, seconded by Commissioner Taagepera, the agenda was adopted by the following vote:

Ayes: Commissioners Crompton, Mang, McKee, Taagepera, Van Landschoot, White and Chair Haughey
 Noes: None
 Absent: None

Abstain: None

III. OPPORTUNITY FOR PUBLIC COMMENT

A. WRITTEN COMMENT

None.

B. PUBLIC COMMENT

Dennis Lowry, 828 Rose Drive – Spoke regarding wood window installation. He was directed by the Mayor to provide additional information. He would like to agendize a presentation from window manufacturers. He will work with staff to make this happen.

Chuck Maddux, 126 East D Street – Received a notice in the mail. He had some issues with the language on the notices and agendas. He would like the notices and agendas more humanized. He complained about counter hours of staff.

IV. ELECTION OF OFFICERS

Chair Haughey nominated McKee/Crompton as Chair and Vice Chair. Commissioner McKee stated that he does not wish to serve as Chair.

Chair Haughey nominated Crompton/Taagepera as Chair and Vice Chair. The nomination was carried by the Commission.

V. CONSENT CALENDAR

Commissioner Van Landschoot pulled Item V-A for clarification. Commissioner Haughey pulled Item V-B for discussion.

On motion of Commissioner Haughey, seconded by Commissioner Van Landschoot, the Minutes of May 26, 2011 were approved by the following vote:

Ayes: Commissioners Haughey, Mang, McKee, Van Landschoot, and Chair Crompton

Noes: None

Absent: None

Abstain: Commissioners Taagepera and White

A. Approval of Minutes of May 26, 2011

B. 321 FIRST STREET – DESIGN REVIEW

11PLN-00028 Design Review

321 First Street, APN: 0089-243-080

PROPOSAL:

The applicant requests design review approval to modify the south-facing façade of the existing commercial building located at 321 First Street within the Downtown Historic Conservation District. The exterior modification includes the construction of approximately 40 linear feet of railing along the perimeter of the building on the outside edge of the existing covered walkway that will match the existing railing on the staircase and upper floors of the building.

Recommendation: Approve design review request for minor exterior modifications to the south-facing façade of the existing commercial building located at 321 First Street, based on the findings and subject to the conditions of approval set forth in the proposed resolution.

Doug Vu, Associate Planner, gave a brief overview of the project. Commissioners commented on the work that was performed prior to an application being submitted.

Rob Storelee, Property Owner – He stated that the railing was put up at the time of the interior remodel. He did not think he needed a building permit. When he inquired about outside seating, he was advised that the railing needed design review approval. He noted that the walkway is uneven, and given the drop off the curb, he wanted to install the railing.

A commissioner questioned if the applicant had previously pulled permits. He was further asked if he was aware that he was in the historic district. There were questions on the spacing of the verticals. The property owner stated there are building code requirements for the spacing.

The public hearing was opened.

Chuck Maddux, 126 East D – He submitted pictures of the railing. He questioned what the applicant's intentions of the use of the outside area are. He noted that the sidewalk table permit application has not been approved. He questioned if alcohol will be served outside and if there would be televisions outside. He does not think this is insignificant. He is concerned with noise. He noted that this is a public access area.

The public hearing was closed.

Doug Vu noted that the applicant is going through the sidewalk table permit process. The application is pending. There is an ABC application pending for

alcohol sales in the outdoor seating area. Doug Vu noted that a site plan was provided and has been reviewed by the Engineering Division. The Use Permit from 1995 was referenced. Doug Vu noted that any changes to that Use Permit would go before the Planning Commission.

Rob Storelee responded that the tenants in the building are fine with the outdoor seating. He noted that he would like the outdoor area used during daylight hours. There were questions about smoking. The applicant encourages no smoking within 20' of the building. There was a question about handicapped access. Commissioners stated concerns with the spacing of the rails. It was noted that this does not function as a guardrail due to the proximity to the ground.

The applicant stated that he would redo the spacing of the rails.

Commissioner Haughey suggested that a condition be added that railings match. The applicant can decide which railing he wants to change, dependent on cost.

RESOLUTION NO. 11-6 (HPRC) - A RESOLUTION OF THE HISTORIC PRESERVATION REVIEW COMMISSION OF THE CITY OF BENICIA APPROVING DESIGN REVIEW FOR EXTERIOR MODIFICATIONS TO 321 FIRST STREET (11PLN-00028)

On motion of Commissioner Haughey, seconded by Commissioner White, the above resolution was adopted, as amended, by the following vote:

- Ayes: Commissioners Haughey, Mang, McKee, Taagepera, Van Landschoot, White and Chair Crompton
- Noes: None
- Absent: None
- Abstain: None

VI. REGULAR AGENDA ITEMS

A. WORKSHOP - TITLE 17.54 (H HISTORIC OVERLAY) ZONING TEXT AMENDMENT

PROPOSAL:

The Commission will continue discussion of Title 17.54 amendment, which clarifies the process that allows an eligible property to gain historic status, and also addresses demolition in the H Overlay Districts. This discussion includes suggestions made by Commissioner Taagepera in a memo dated March 25, 2009, and comments made by the Commission at the January 28, 2010 and September 24, 2009 meetings.

Recommendation: Continue this discussion, review draft policy, and make final recommendation to staff to prepare a zoning text amendment for the Commission to make a recommendation to the Planning Commission and the City Council.

Gina Eleccion gave a brief overview. Commissioner Haughey requested this be continued as she only received her packet a day earlier.

There was a suggestion to leave the community development director language. Commissioners would like to clarify the different types of designations. Gina Eleccion stated that this will be amended to simplify the process. Commissioners did not like the requirement of property owner consent. Gina Eleccion stated that she will check with the City Attorney on the legality of this.

Gina Eleccion noted that this item will be coming back to the Commission for a recommendation in July.

VII. COMMUNICATIONS FROM STAFF

A. VERBAL UPDATE ON 235 EAST L STREET ALTERATIONS

Gina Eleccion advised the Commission that the contractor and property owner have both been contacted. They have agreed to remove all inappropriate alterations. A letter will be sent to the owner documenting all of the inappropriate alterations.

Gina Eleccion noted that this may be the last meeting for Commissioners Mang and White. She thanked them for their service.

VIII. COMMUNICATIONS FROM COMMISSIONERS

Commissioner Mang thanked Commissioner Haughey for her job as Chair. He also thanked Gina Eleccion for her work.

IX. ADJOURNMENT

Chair Crompton adjourned the meeting at 8:03 p.m.

AGENDA ITEM
HISTORIC PRESERVATION REVIEW COMMISSION MEETING
JULY 28, 2011
REGULAR AGENDA ITEM

DATE : July 14, 2011

TO : Historic Preservation Review Commission

FROM : Doug Vu, Associate Planner

SUBJECT : **DESIGN REVIEW FOR THE REHABILITATION OF THE OFFICERS QUARTERS DUPLEX LOCATED AT 963 JEFFERSON STREET**

PROJECT : 08PLN-00028 – Design Review
963 Jefferson Street – Officers Quarters Duplex
APNs: 0080-150-020 and 0080-150-030

RECOMMENDATION:

Approve a design review request for exterior modifications to the existing Officers Quarters Duplex located at 963 Jefferson Street, based on recommended modifications by staff, the findings and subject to the conditions of approval set forth in the proposed resolution.

EXECUTIVE SUMMARY:

The property owner requests design review approval to rehabilitate the Officers Quarters Duplex located at 963 Jefferson Street in the Benicia Arsenal Historic District for future use as a Bed and Breakfast Inn. The primary elements of the proposed project include:

- 1) Demolition of the existing brick moat retaining wall and enlargement of the moat on the east, south and west facades that includes the construction of a new moat with a concrete-masonry unit (CMU) retaining wall;
- 2) Reconstruction of the east veranda, including replacement of the existing sandstone piers with a CMU wall that will also serve as the expanded moat retaining wall, restoration of the original wood balustrades and replacement of the wood Corinthian columns with polymer replicas;
- 3) Reconstruction and enlargement of the moat at the northwest corner of the building that will function as a sub-grade courtyard and be used for restaurant dining. The new courtyard will span approximately 35-feet at its widest area and extend approximately 80-feet along the

west façade. The removal of a mature sycamore tree will be necessary to construct this element; and

- 4) Reconstruction and enlargement of the south-facing entry porch that includes constructing the base with CMU and cladding with stucco or covered with wood lattice, constructing new stairs, replacement polymer Corinthian columns to support the roof, restoring the original pilasters, constructing a new porch roof and replacing wood tongue-and-groove decking.

ENVIRONMENTAL ANALYSIS:

The project as currently proposed does not comply with Standards 2, 5, 6, 9 and 10 for Rehabilitation under the Secretary of the Interior's Standards for the Treatment of Historic Properties. Pursuant to Environmental Quality Act (CEQA) Guidelines subsection 15064.5(b), a "project with an effect that may cause a substantial adverse change in the significance of a historic resource is a project that may have a significant effect on the environment." Therefore, the completion of an Initial Study to determine whether it may have a significant effect on the environment would be required.

However, if the project's scope of work is modified as recommended by staff in this report, the rehabilitation of the Officers Quarters Duplex would be Categorically Exempt under Section 15331 of the California Environmental Quality Act (CEQA), which applies to projects limited to the maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the federal Secretary of the Interior's Standards for the Treatment of Historic Properties.

BACKGROUND:

The subject property is 1.2 acres in size and located on the north side of Jefferson Street, between Park Road and Washington Street (see Figure A). The General Plan and Zoning designation for the property is Lower Arsenal Mixed Use and Office Commercial, respectively, and the adjacent land uses include: General Industrial to the north; Office Commercial to the east and south; and Office Commercial, Medium Density Residential and Public & Semi-Public to the west of the property.

The Officers Quarters Duplex was constructed in 1874 by the U.S. Army to serve as housing for military officers stationed at the Benicia Arsenal. This particular building is similar in design to two other former residences, known as the Lieutenant's and Commanding Officer's Quarters. Although the other residences were constructed earlier, in 1861 and 1860, respectively, the subject building was designed in a decorative Italianate style. The Officers Quarters Duplex was listed as a contributing building within the Benicia Arsenal National Register Historic District in 1975, and is by default also listed in the California

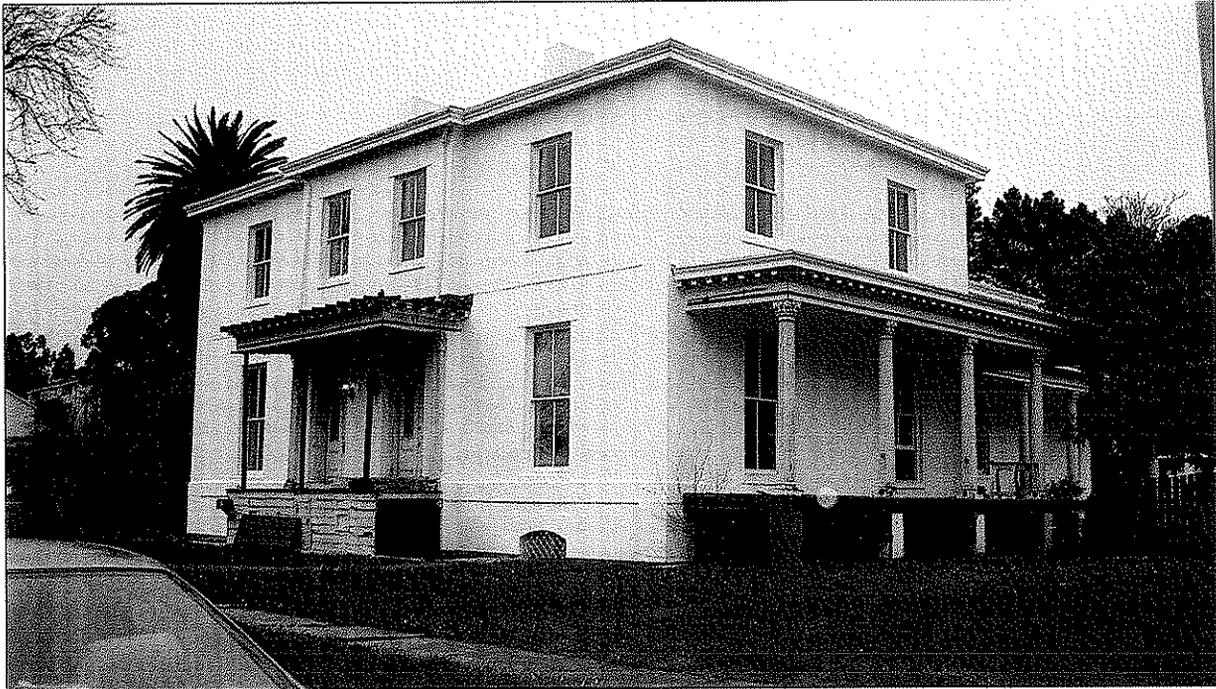


Figure A: 963 Jefferson Street – Officers Quarters Duplex

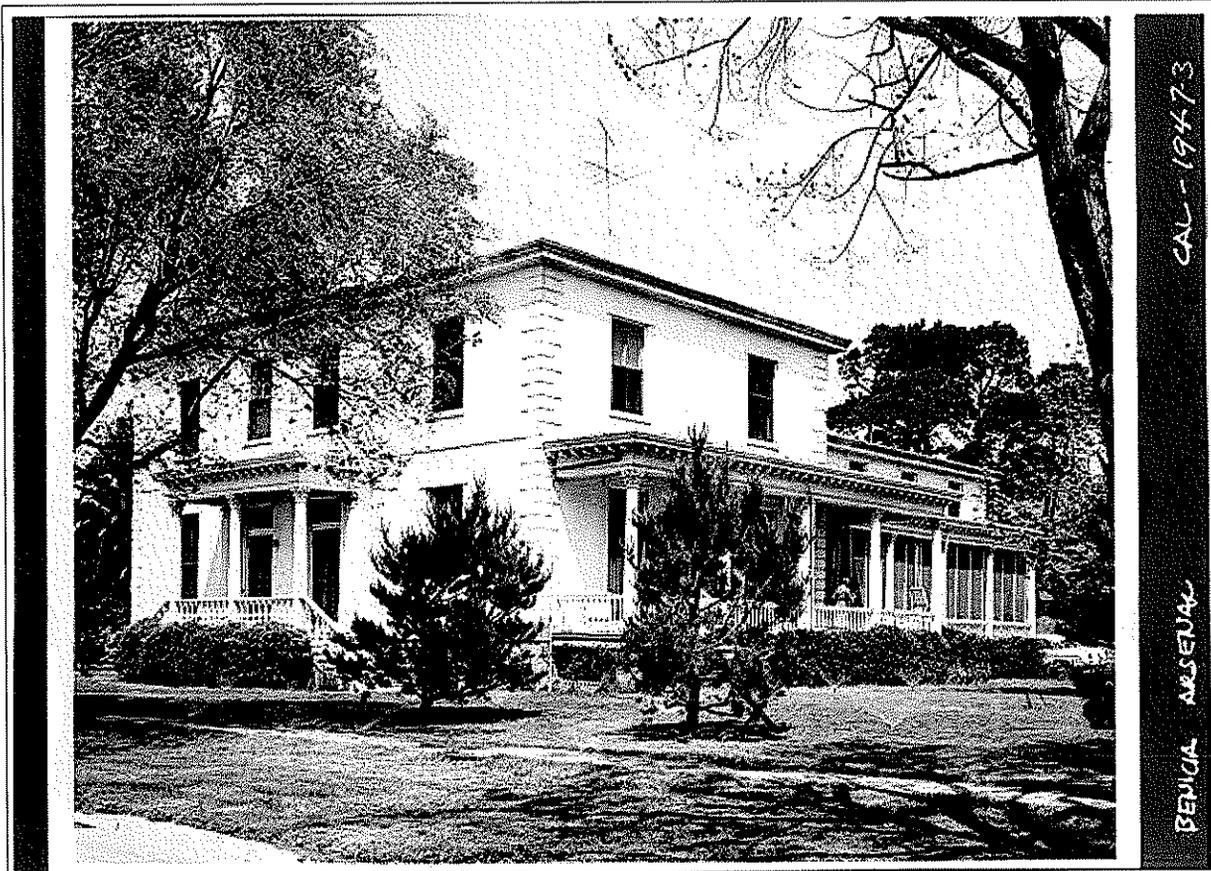


Figure B: Officers Quarters Duplex (c. 1944)

Register of Historical Resources. Also at the State level, the Arsenal is listed as California State Landmark No. 176, which is known locally as the City of Benicia Local Historic Arsenal District. This local district adopted by the City Council in 1987 is larger than and incorporates the National Register Historic District. The Officers Quarters Duplex was recorded by the Historic American Building Survey (HABS) with documentation dating from 1944 and 1976 (see Figure B).

PROJECT DESCRIPTION AND ANALYSIS:

Proposed rehabilitation work that will affect the exterior of the building will primarily involve the eastern veranda, south-facing front porch and northwestern porch. Drawings submitted by the applicant and dated June 7, 2011 depict the scope of work as follows:

Reconstruction and Enlargement of Moat (Item 1)

Enlargement of the moat will occur along the east, south and west façades where a narrow moat currently borders the foundation of the building, functioning as a light well and providing air to the sub-grade basement windows. The moat has a dirt floor and brick retaining wall that is capped with a sandstone curb in most areas where it is not concealed under a porch (see Figure C). The moat is about 2 feet wide and will be extended to 8 feet under the eastern veranda and 11½ feet under the front porch. The moat will also be significantly enlarged to incorporate a sub-grade courtyard along the west façade of the building (Item 3). This will be accomplished by demolishing the existing retaining wall and constructing a new, wider wall with concrete masonry units (CMU).

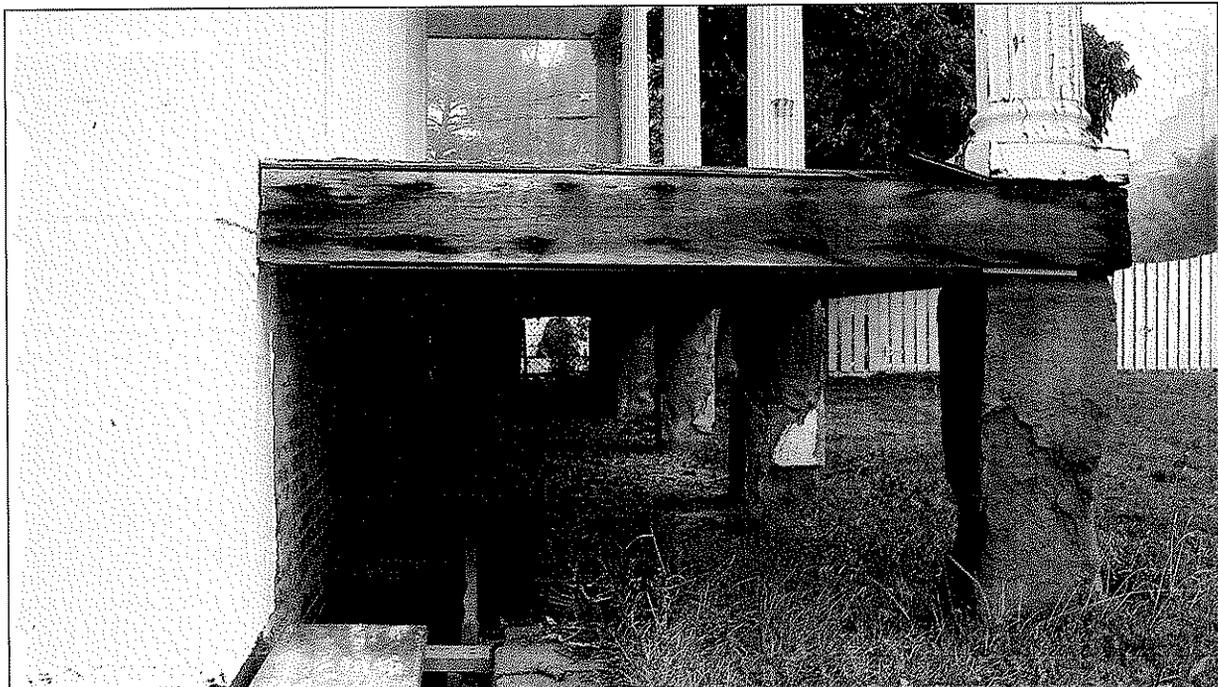


Figure C: Brick moat retaining wall and sandstone piers under east veranda

Analysis and Recommendation: The existing moat is a unique feature, uncommon in the general geographic area and should be preserved in its current state where possible as a character-defining feature of the property. Its enlargement has impacts on the spatial relationships of the site and the way it relates to the building it surrounds. It is acceptable to enlarge the moat in areas where it will be concealed, such as beneath the porches and verandas. It is also acceptable to enlarge the moat for use as a sunken courtyard because the installation of modern materials such as tile flooring and metal railing will indicate the feature is of modern construction. In other areas where the moat is readily visible, it is necessary that it be preserved with the existing brick and sandstone curb and maintained at its current dimensions in order to differentiate new and original construction. Specifically, the moat should be preserved and not enlarged along any façade if it is not directly under a porch or veranda, and is not integral to the new sunken courtyard.

Reconstruction of East Veranda (Item 2)

On the east side of the building, the moat will be extended to the edge of the veranda and the new CMU retaining wall will rise above grade to support the edge of the veranda's deck. The solid wall is necessary to make the expanded moat under the veranda watertight where mechanical features will be installed. The CMU wall will replace the existing sandstone piers, which are deteriorated beyond repair due to erosion. The area under the Corinthian columns where the sandstone piers are currently located will have a sandstone veneer to reference their original location (see Figure D). In addition, 31" x 15" windows will be installed along the face of the retaining wall in the spaces between the sandstone veneer with white painted lattice placed in front of the windows to reference the historical appearance of the open underside (see Project Plans, Sheet A-3). Reconstruction of the veranda will also include restoration of the original wood balustrades and replacement of the deteriorated wood Corinthian columns with polymer replicas.

Analysis and Recommendation: The proposal to construct a new CMU retaining wall that will rise above grade to support the eastern veranda in place of the sandstone piers is not compliant with the Secretary of the Interior's (SOI) Standards Nos. 5, 6 and 9 because it destroys distinctive features and material and replaces them with new, different and incompatible materials. The construction of a solid CMU wall enclosing the underside of the veranda is also not compliant with SOI Standard No. 5 because it will remove a character-defining feature and construction technique. It is recommended the piers be replaced with poured concrete piers that have a sandstone veneer, with their form as individual square piers maintained. If it is absolutely critical to have the expanded moat area water tight, an alternative recommendation is to substantially increase the size of the proposed 31" x 15" windows under the

veranda so there is the appearance of an open underside that may also provide light and air as originally intended.

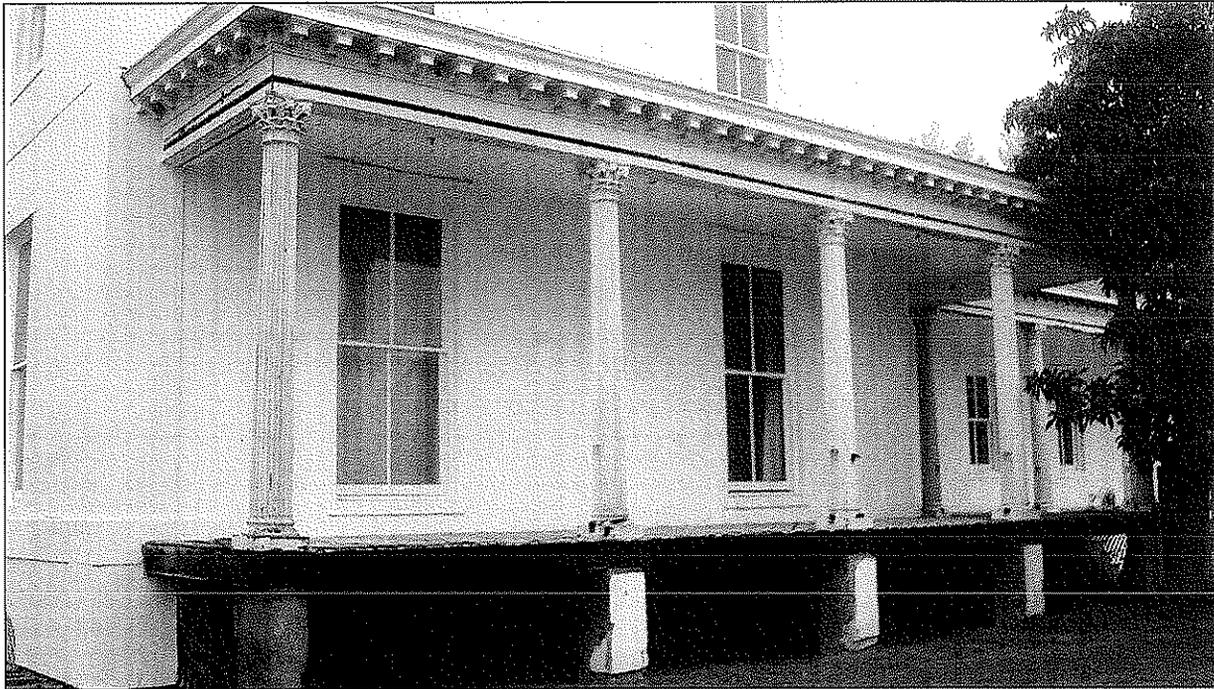


Figure D: East veranda

The project proposes to replace the historic wood Corinthian columns with polymer replicas. Although this may not be compliant with SOI Standard Nos. 5 and 6, which advise against the destruction of distinctive materials and recommend that deteriorated features be replaced in-kind, the applicant has communicated that the remaining columns are not salvageable, replacement wood columns would be cost-prohibitive, and the change in material from wood to polymer plastic will not result in a discernable contrast in texture and overall appearance. SOI Guidelines specify that a “substitute material is acceptable if the form and design as well as the substitute material itself convey the visual appearance of the remaining parts of the feature and finish.” Based on the visual inspection that was made during the March 2, 2011 site visit, the replacement of the original columns with polymer replicas would be acceptable if the applicant provides documentation from a qualified conservator that the historic columns are not salvageable.

New Sub-Grade Courtyard (Item 3)

At the northwest corner of the building adjacent to the porch, the moat will be significantly enlarged to incorporate a sub-grade courtyard that will be used for restaurant dining (see Figure E). The courtyard will extend 35 feet from the edge of the porch at its widest location from the northwest façade of the building, 11½ feet from the southwest façade and extend a total of 80 feet in depth parallel to the building's face. The courtyard will be constructed of a CMU

retaining wall, a 3-foot 6-inch wrought iron guardrail, stamped concrete flooring, concrete stairs and a wheelchair lift (see Project Plans, Sheet A-7). A mature sycamore tree will be removed in order to construct this element.



Figure E: Location of new courtyard adjacent to porch

Analysis and Recommendation: Although the construction of the sunken courtyard will remove historic materials and alter the existing spatial relationships of the moat in that location, it will not be in a prominent location and will be differentiated from the original character of the moat so that it can readily be interpreted as a modern alteration. Although it was suggested to use bricks that will be removed during expansion of the moat in some areas to cover the new retaining wall and porch supports, this should not be done in order to differentiate new from original construction. In summary, the courtyard will generally be compatible with the historic materials, features, size, scale, proportion and massing of the rest of the property.

Reconstruction and Enlargement of South Entry Porch (Item 4)

On the south side of the building, the entry porch will be reconstructed and enlarged. It is currently 5 feet deep from the wall of the building and will be enlarged to 11½ feet according to the plans, which also includes the expansion of the moat to house mechanical equipment (see Figure F). The applicant has since indicated the porch and moat will only be extended to either 6½ feet or 8 feet, which should be clarified. The deteriorating porch, which is missing many original components, will otherwise be reconstructed to its original appearance, based on historic drawings and photographs. The base of the porch, which is currently enclosed with shiplap siding and is missing stairs, will be rebuilt of CMU

and clad with stucco or covered with wood lattice (see Project Plans, Sheets A-1 and S-2). New stairs extending from the east and west sides of the porch will be reconstructed and the original, restored wood balustrade will span the front of the porch. Again, the original wood Corinthian columns have deteriorated beyond repair and will be replaced with polymer replicas, but the pilasters remain and will be restored. The porch roof will be rebuilt because of deterioration and to enlarge it to the desired dimensions. Deteriorating modillions at the porch's roofline will be replaced; a dozen with original components that have been retained and the remainder with reconstructed duplicates. Finally, the decking will be replaced with wood tongue-and-groove boards, as originally constructed.



Figure F: Front entry porch

Analysis and Recommendation: In reconstructing the front porch to its original dimensions, as many original elements as possible should be retained, while those that are too deteriorated to be salvaged should be replaced in-kind. The base of the porch should be enclosed with wood shiplap siding, as it was originally, and not with stucco or CMU overlaid with wood lattice as shown on the plans. SOI Standard No. 10 specifies that new additions "will be undertaken in a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired." Furthermore, its Guidelines specifically do not recommend "attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed." Therefore, one way to comply with this Standard is to build an extension onto the reconstructed original porch, rather than enlarging it. That way, if the change was ever to be reversed, the extension could be removed

and the original features could be reapplied to the original portion of the porch. A second option would be to construct an entirely new, larger porch in a new design that is compatible with the remaining character-defining features of the building. This new design must take into account the size and scale of the building and most importantly should be clearly differentiated so that a false historical appearance is not created.

All other portions of the house's exterior will remain unaltered by the proposed project. Although some alterations have occurred since the building's original construction that have changed its appearance, (such as stucco wall cladding; stucco obscured details like quoining, beltcourses and lintels; removal of parapet, etc.), these will not be reversed by the rehabilitation effort.

Secretary of the Interior's Standards for Treatment of Historic Properties

The subject property is a Historic Landmark Building and as a designated historic resource under CEQA, all exterior changes must comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Staff has evaluated this project under the Treatment of Rehabilitation and further evaluation of the project's consistency with the Standards is attached to this staff report.

Zoning Ordinance Consistency

The proposed commercial use of this property as a Bed and Breakfast Inn is permitted within the Office Commercial zoning district upon approval of a use permit by the Public Works & Community Development Director. A use permit from the Planning Commission will also be required if the restaurant wishes to provide full alcoholic beverage service.

Design Review Finding

Pursuant to BMC §17.108.040, the finding can be made that the proposed rehabilitation of the Officers Quarters Duplex is consistent with the purposes of design review. Specifically:

- The location and configuration of the exterior modifications are visually harmonious with its site and with surrounding sites and structures, and will not unnecessarily block scenic views from other buildings or public parks or dominate its surroundings to an extent inappropriate to its use. The rehabilitation of the property includes the repair and replacement of existing architectural elements and the construction of a sub-grade courtyard that will be visually harmonious with its site and surroundings structures. These improvements will not block any scenic views or dominate its surroundings.

- The architectural design of the exterior modifications, its materials and colors are visually harmonious with surrounding development and with the natural landforms and vegetation of the areas in which it is proposed to be located. The rehabilitation will incorporate either the same or compatible materials, colors and finishes as the existing building. Other materials such as concrete and wrought iron will compliment the building's existing materials, colors and finishes.
- The exterior modifications will result in the removal of one mature sycamore tree and open space to accommodate a new parking lot. However, the remaining landscaping will continue to provide a visually pleasing and harmonious setting for structures on the site and serve as a transition to adjoining and nearby sites.
- The project will not include any excessive and unsightly grading of hillsides, and will continue to preserve natural landforms and existing vegetation where feasible.
- The 28 parking spaces that will be provided in the new parking lot will ensure the provision of adequate, safe and efficient parking and circulation areas consistent with the Zoning Ordinance.
- The project provides a functional, efficient, and attractive site design which is sensitive to existing uses in the area and to the topography and conditions of the site. The exterior modifications are functional, efficiently sited, will be harmonious with the existing structure, and are in locations that will minimize any potential visual impacts to the surrounding neighborhood.
- The exterior modifications are consistent with the design guidelines identified in the Arsenal Historic Conservation Plan and the Secretary of Interior's Standards for the Treatment of Historic Properties.

Conclusion

Rehabilitation of the Officers Quarters Duplex as proposed will cause a substantial adverse change in the significance of a historic resource and may have a significant effect on the environment, requiring the completion of an Initial Study to make this assessment. In order to rehabilitate this building in a manner that is consistent with the Secretary of Interior's Standards for the Rehabilitation of Historic Properties, the project's scope of work should be modified to include:

- 1) Preservation of the existing moat retaining wall in areas where it will not be enlarged directly under a porch or veranda, and is not integral to

- the new sunken courtyard;
- 2) Substantially increasing the size of the windows under the east veranda along the new CMU retaining wall or replacing the existing deteriorated piers with poured concrete piers that have a sandstone veneer;
 - 3) Construction of the new sunken courtyard using new and compatible materials and not original brick or other historic materials; and
 - 4) Construction of an extension onto the original entry porch rather than enlarging it or construction of an entirely new porch that is compatible with the remaining character-defining features of the building.

If the applicant is not able to comply with any of the conditions of approval adopted by the Historic Preservation Review Commission, the applicant will be required to return to the Commission for any modifications to the approved project.

FURTHER ACTION:

The Historic Preservation Review Commission's action will be final unless appealed to the Planning Commission within ten business days by filing of the appropriate form and payment of the appropriate fee.

Attachments:

- Proposed Resolution
- Consistency Analysis: Secretary of Interior's Standards for Rehabilitation
- DPR Form 523
- Project Plans

PROPOSED RESOLUTION

RESOLUTION NO. 11-X (HPRC)

A RESOLUTION OF THE HISTORIC PRESERVATION REVIEW COMMISSION OF THE CITY OF BENICIA APPROVING DESIGN REVIEW FOR 963 JEFFERSON STREET (08PLN-00028)

WHEREAS, the applicant, Stephen David, has requested design review approval to complete exterior modifications and rehabilitate the Officers Quarters Duplex located at 963 Jefferson Street; and

WHEREAS, the Historic Preservation Review Commission held public hearings on January 27, 2011 and March 2, 2011 to receive preliminary project information and advise the applicant on the proposed project; and

WHEREAS, the Historic Preservation Review Commission at their regular meeting on July 28, 2011 conducted a public hearing and reviewed the proposed project.

NOW, THEREFORE, BE IT RESOLVED that the Historic Preservation Review Commission of the City of Benicia hereby finds that:

- a) The project is Categorically Exempt from additional environmental review pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15331- Historical Resource Restoration/Rehabilitation, which applies to projects limited to the maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings (1995), Weeks and Grimmer.
- b) The location and configuration of the exterior modifications are visually harmonious with its site and with surrounding sites and structures, and will not unnecessarily block scenic views from other buildings or public parks or dominate its surroundings to an extent inappropriate to its use. The rehabilitation of the property includes the repair and replacement of existing architectural elements and the construction of a sub-grade courtyard that will be visually harmonious with its site and surroundings structures. These improvements will not block any scenic views or dominate its surroundings.

- c) The architectural design of the exterior modifications, its materials and colors are visually harmonious with surrounding development and with the natural landforms and vegetation of the areas in which it is proposed to be located. The rehabilitation will incorporate either the same or compatible materials, colors and finishes as the existing building. Other materials such as concrete and wrought iron will compliment the building's existing materials, colors and finishes.
- d) The exterior modifications will result in the removal of one mature sycamore tree and open space to accommodate a new parking lot. However, the remaining landscaping will continue to provide a visually pleasing and harmonious setting for structures on the site and serve as a transition to adjoining and nearby sites.
- e) The project will not include any excessive and unsightly grading of hillsides, and will continue to preserve natural landforms and existing vegetation where feasible.
- f) The 28 parking spaces that will be provided in the new parking lot will ensure the provision of adequate, safe and efficient parking and circulation areas consistent with the Zoning Ordinance.
- g) The project provides a functional, efficient, and attractive site design which is sensitive to existing uses in the area and to the topography and conditions of the site. The exterior modifications are functional, efficiently sited, will be harmonious with the existing structure, and are in locations that will minimize any potential visual impacts to the surrounding neighborhood.
- h) The exterior modifications are consistent with the design guidelines identified in the Arsenal Historic Conservation Plan and the Secretary of Interior's Standards for the Treatment of Historic Properties.

BE IT FURTHER RESOLVED that the Historic Preservation Review Commission of the City of Benicia hereby approves the proposed project subject to the following conditions:

1. This approval shall expire two years from the date of approval, unless made permanent by the issuance of a building permit.
2. Design Review approval shall expire two years from the date of approval, unless made permanent by the issuance of building permits.

3. The plans submitted for the building permit and development and construction shall be in substantial compliance with the submitted plans prepared by Monarch Engineering, date stamped received June 8, 2011, consisting of 13 sheets marked Exhibit "A" on file with the Public Works & Community Development Department, except as noted below.
4. The moat brick retaining wall and sandstone cap shall be preserved and not removed or enlarged along any façade if it is not directly under a porch or veranda, and is not integral to the new sunken courtyard.
5. The existing sandstone piers under the east veranda shall either be replaced with poured concrete piers that have a sandstone veneer or the new CMU wall that will rise above grade shall include windows that are substantially large enough to provide the appearance of an open underside.
6. Construction of the new sunken courtyard shall use new and compatible materials and not include the re-use of original brick or other historic materials from the building.
7. If the south entry porch is reconstructed to its original dimensions, the base of the porch should be enclosed with wood shiplap siding, as it was originally, and not with stucco or CMU overlaid with wood lattice.
8. If the entry porch that is reconstructed to its original dimensions also includes an extension, the porch extension shall be designed and constructed in a manner that if removed in the future, the form and integrity of the reconstructed porch will be unimpaired.
9. If an entirely new and larger porch is constructed, its design shall be compatible with the remaining character-defining features of the building and shall be clearly differentiated so that a false historical appearance is not created.
10. The applicant shall provide documentation from a qualified conservator that the original wood Corinthian columns are not salvageable. Any columns that are determined to be salvageable shall be restored for installation.
11. Any other alteration of the approved plans, including substitution of materials or changes in colors or finishes, shall be requested in writing

for consideration of approval by the Historic Preservation Review Commission prior to changes being made in the field.

12. If archaeological resources are uncovered during any portion of the project, all construction shall be immediately halted and proper mitigation undertaken in consultation with the Public Works & Community Development Director.
13. The project shall adhere to all applicable ordinances, plans, and specifications of the City of Benicia.
14. Any alteration of the approved plans, including substitution of materials, shall be requested in writing and reviewed and approved by the Historic Preservation Review Commission prior to changes being made in the field.
15. Construction activities shall meet all municipal code requirements for hours of operation. Construction equipment shall be adequately muffled and controlled. These requirements shall be made a condition of all related contracts for the project.
16. The applicant or permittee shall defend, indemnify, and hold harmless the City of Benicia or its agents, officers, and employees from any claim, action, or proceeding against the City of Benicia or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Historic Preservation Review Commission, Planning Commission, City Council, Public Works & Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.

* * * * *

On motion of Commissioner _____, seconded by Commissioner _____, the above Resolution was adopted by the Historic Preservation Review Commission of the City of Benicia at a regular meeting of said Commission held on July 28, 2011 by the following vote:

Ayes:

Noes:

Absent:

Abstain:

David Crompton
Historic Preservation Review Commission Chair

**CONSISTENCY ANALYSIS:
SECRETARY OF THE INTERIOR'S
STANDARDS FOR REHABILITATION**

Consistency Analysis:
Secretary of Interior's Standards for Rehabilitation
Design Review (08PLN-00028)
963 Jefferson Street

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values.

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, rehabilitation may be considered as a treatment.

The bold text is the applicable Secretary of Interior's Standard for Rehabilitation. The regular text is staff's response about how the particular guideline or policy relates to the proposed project.

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**

As designed, the proposed project will be in compliance with this Standard. The building was historically used as a duplex two-family residence. The proposed project will convert it to a single unit to be used as a bed and breakfast inn. While this is a commercial use, it has the residential connotations that are compatible with the building's original use as a multi-family residence. Alterations that will be made to accommodate the new use will have no effect on the overall appearance. Distinctive materials, features, spaces and spatial relationships will remain intact. For instance, according to the building's original design as a duplex, it possesses two front entry doors. This character-defining organization of the primary entry will not be changed by the proposed project.

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.**

As modified, the proposed project will be in compliance with this Standard. The alterations proposed for the building will preserve its historic character as an Italianate style duplex. Missing and deteriorating parts of the character – defining features, such as the wood modillions, Corinthian columns and other porch ornamentation, will be restored and replaced, or reconstructed to

match the original appearance. The paired front entry doors and verandas will also be retained and restored. The construction of a courtyard adjacent to the northwest porch will not greatly affect the character of the building because that corner of the duplex is not primary and the associated porch has been previously altered.

If the south entry porch is reconstructed to its original dimensions with an addition attached to it, the change in spatial relationships can be preserved if the addition is removed in the future. If the porch itself is enlarged during reconstruction, the additional depth of 18 inches will not adversely affect the spatial relationship to the building.

The moat, which functions as a light well for the basement, will be retained as a characteristic element even though it will be enlarged in areas directly below the porch, verandas and for the new courtyard. The enlargement of the moat in these areas will not greatly affect this character-defining feature because it will be concealed. Overall, unique features, spaces and spatial relationships that characterize the property will be retained, replaced or reconstructed to rehabilitate the building and restore it to an appearance that is more in keeping with its original design.

- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**

As modified, the proposed project will be in compliance with this Standard. No creation of false history or addition of conjectural features from other historical properties will be undertaken. The proposed project generally seeks to restore the building by replacing existing features in a manner similar to their historic appearance. For instance, missing features such as the stairs, balustrades and columns on the front porch will be reproduced based on existing elements and documentary evidence, and will be put back as they were historically. Where new or reconstructed elements are to be installed, such as the northwest courtyard, moat and possibly the entry porch, the design and materials will be such that misinterpretation as part of the property's historical development will be unlikely.

- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.**

As designed, the proposed project will be in compliance with this Standard. The northwestern porch was partially enclosed sometime between 1920 and 1940. Since this change occurred within the Benicia Arsenal Historic District's

period of significance (1849-1960), it has acquired significance in its own right. The restoration of the northwestern porch will retain the infill that encloses the porch on the south side, thus preserving its significant alterations. Other previous alterations that occurred within the District's period of significance include the stucco exterior cladding, subsequent obscuring of features like quoining, and the removal of the parapet. These elements will not be affected by the proposed project that will also reflect the same plan, form, massing and overall design as originally constructed.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

As modified, the proposed project will be in compliance with this Standard. Although reconstruction of the entry porch will remove distinctive materials, features and examples of craftsmanship, these materials have deteriorated beyond repair and are not salvageable. Elements that can be preserved, such as the building's pilasters, will be restored during the construction process.

Even though enlargement of the moat under the porches and verandas will remove the historic brick, sandstone caps and piers, these distinctive materials and features will be preserved and restored where necessary in areas where they are readily visible.

Although using the same kind of material is the preferred option, the substitute materials for the replacement columns and piers (polymer and concrete with sandstone veneer, respectively) will be acceptable because the form, design and substitute material itself will convey the visual appearance of the remaining parts of the feature and finish.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

As modified, the proposed project will be in compliance with this Standard. Historic features such as the wood Corinthian columns and the sandstone veranda piers will be replaced rather than repaired due to the severity of their destruction. The new columns will match the old in design, proportion, color and texture based on documentary and physical evidence but will be replaced with polymer rather than wood. Although the original material will not be duplicated, the replacement material is acceptable because it will convey the visual appearance of the original feature.

Similarly, the sandstone veranda piers will be replaced either with concrete piers that will have a sandstone veneer or a solid wall that will incorporate a sandstone veneer and large windows to replicate the open underside of the veranda.

- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**

As designed, the proposed project will be in compliance with this Standard. The proposed project does not include any chemical or physical treatments to be applied to the Officers Quarters Duplex.

- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

As designed, the proposed project will be in compliance with this Standard. It is not known whether any substantial archaeological resources are located on the site. The proposed project will require work around the foundation of the building and will likely include subsurface excavation. If archaeological resources are uncovered during any portion of the project, all construction shall be halted and proper mitigation undertaken.

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

As modified, the proposed project will be in compliance with this Standard. The enlargement of the moat will only occur in areas under porches and verandas where it is not readily visible and adjacent to the northwestern elevation where it will also function as a sunken courtyard. Since the original moat brick retaining wall will be preserved in all other areas, the replacement moat that will utilize modern but compatible materials will be easily differentiated from the original construction and the majority of the spatial relationships that characterize the building will be retained.

The south entry porch is deteriorated and its reconstruction using any restored features is acceptable only if constructed to its original dimensions. If the porch is enlarged by 18 inches in depth during reconstruction, the spatial relationship will not be adversely affected and the application of original and reproduction features and ornamentation will be avoided in

order to differentiate the new construction from the original portions of the building.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

As modified, the proposed project will be in compliance with this Standard. Most features that will be replaced or added as part of the reconstruction of the verandas and entry porch (including modillions, columns, balustrades and stairs) will not affect the form and integrity of the building if removed.

The enlarged moat and sub-grade courtyard addition can be reversed by filling in the extended areas that will be excavated. Similarly, the historic brick moat retaining wall and sandstone veranda piers that will be replaced can only be replaced with compatible new materials, but the essential form and integrity of the property as a whole would not be impaired by this.

An extension of the original porch could be removed and the original features restored and reapplied to the original portion of the porch in order to preserve the essential form and integrity of the property. However, since the original porch is deteriorated and requires full reconstruction, a new and enlarged porch can be removed in the future to return the essential form and integrity to the property because physical and historical documentation of its original design exists.

**DEPARTMENT OF PARKS AND RECREATION FORMS
523 A & B**

State of California The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code

Other
 Review Code

Reviewer

Date

Listings

Page 1 of 1

*Resource Name or #: Officers Quarters Duplex (Building No. 25 & 26)

P1. Other: None

*P2. Location: Benicia Arsenal

Not for Publication Unrestricted

*a. County: Solano

*b. USGS 7.5' Quad: Benicia

T 2N R 3W, MDM.

c. Address: 963 Jefferson Street

City: Benicia

Zip: 94510

d. UTM: Zone: mE/ mN

e. Other Locational Data: APN 0080-150-030

*P3a. Description:

The Officers Quarters Duplex is one of three officers' residences that were constructed in the 1870s on Jefferson Street overlooking the Carquinez Straits. The building has a T-shape plan with a large rectangular mass at the front facing the street and a smaller rectangular mass located at the rear. It is two-story with a full basement. The building consists of two, almost identical, separate residences. Designed in the Italianate style, the building exhibits a restrained and classicized vocabulary in its detailing. (See continuation sheet)

*P3b. Resource Attributes: HP3

*P4. Resources Present: Building Structure Object Site District Element of District Other

P5b. Description of Photo Front façade, view north, 3-10-08

*P6. Date: Constructed/Age: 1874

Source: Brugmann, Robert. *Benicia Portrait of an Early California*

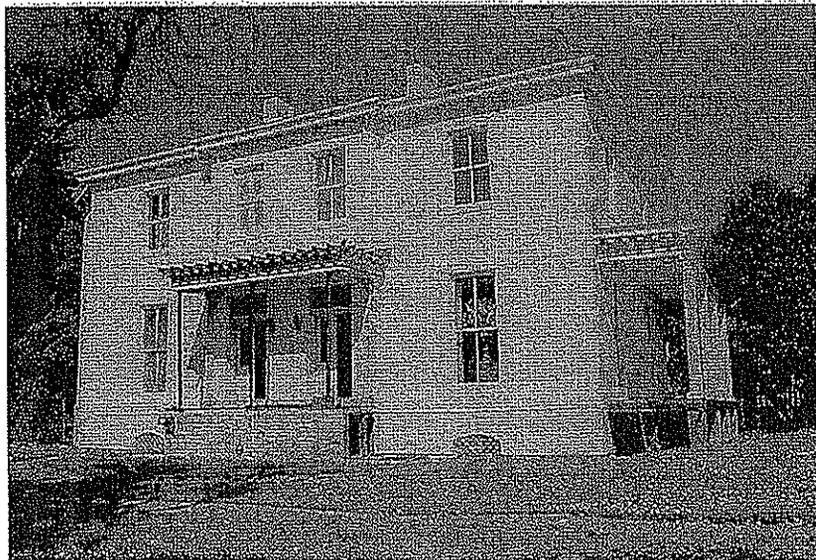
Town: *An Architectural History* (San Francisco: 101 Productions (1980))

Historic

Prehistoric

Both

P5. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P7. Owner and Address:

Steven David
 S. David Enterprises
 401 W. Channel Rd.
 Benicia, CA 94510

*P8. Recorded by:

Carol Roland
 Roland Nawi Associates
 956 Fremont Way
 Sacramento, CA 95818

*P9. Date Recorded: 3-10-08

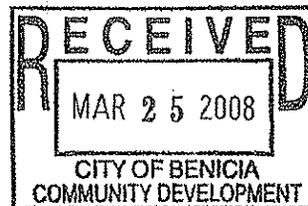
* P11. Report Citation: DPR 523 form

P10. Survey Type: Intensive

Reconnaissance Other

Attachments:

None Location Map Continuation Sheet Building, Structure and Object Record District Record Archeological Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (list)



P3a. Description con't:

The front and rear roofs are hipped and are very low, almost flat. The front of the roof was originally capped with a simple parapet which is no longer present. Eaves are slightly overhung and closed with no brackets. Two symmetrically arranged wide brick chimneys pierce the center of the front wing roof. A single chimney of the same design rises from the center of the rear wing roof.

Fenestration is symmetrically arranged throughout. Windows are four-over-four double hung and are recessed with simple lintels and sills. On the lower story the windows are large and elongated, extending nearly from floor to ceiling on the interior. On the west elevation of the front wing there is a canted bay that rises two-stories. The bay displays the same four-over-four fenestration as the rest of the building. This bay is a distinctive feature of the west duplex and is not mirrored on the east side of the building.

The principal entrances to the building are located side-by-side in the center of the front elevation. Slightly recessed, the entrances consist of half glazed double wooden doors with lower panels. The doors are surmounted by two light transoms. Original hardware appears to remain in place. The set of entry doors is flanked by Corinthian pilasters. The doors enter into two-story entry halls with sweeping staircases. The front elevation is marked by two belt courses; one at the second floor level and one at the basement level.

A covered double porch is located at the center of the front elevation. Currently only the wooden foundation, floor, and shed porch roof remain. The support posts, parapet, stair and balustrades have been removed. The flat porch roof has extending eaves with decoratively exposed rafters. The roof is temporarily supported on two-by-fours. It was originally supported on three Corinthian columns. The original plan for the building shows paired stone steps rising directly to the entry doors. However, either at the time of construction, or shortly thereafter, this design was altered to provide a porch similar to that of the adjacent Commandant's House. The porch which appears in photos from the 1890s has side facing steps with elaborate newel posts and turned balustrades. The lower porch wall is decoratively treated with double cartouches.

The west elevation of the building has a canted bay occupying the front wing wall. The rear west wing elevation is occupied by a one-story covered porch which has been partially enclosed. The enclosed portion of the porch is clad with clapboard and has two-over-two double hung windows. The remaining porch is wood with a flat roof. The eaves are overhanging and have closely spaced brackets. The porch roof is supported on two-by-four posts that are set on the closed porch rail. The original plan called for a single covered porch commencing at the front wing wall and ending at the rear wall of the building. Originally the roof appears to have been supported on Corinthian columns like those found on the east side of the building.

The east façade exhibits a one-story covered porch that spans the full elevation and visually unites the front and rear wings. The porch roof is flat with overhanging eaves and brackets. It is supported on Corinthian columns. The original plan shows a south-facing stair providing direct access to the side porch from the front of the duplex. Either this was never executed, or by the 1890s the stair had been removed. Photographs dating to the 1890s show the east porch enclosed by a balustrade of the same design as the front stair.

The rear façade of the building is very simple with symmetrically arranged fenestration and entries. The doors are slightly recessed with double glazed panels above and wooden panels below. A divided transom surmounts each door. Access is provided by a side oriented stair with plain balustrade. The stair does not appear original.

The basement of the building lies partially above ground and partially submerged below ground level with a surrounding dry moat. Arched basement windows are found on front and side elevations, with basement entry doors located on the rear façade. The moat, in addition to providing drainage, supplies natural light to the lower story.

The building is brick masonry construction which has been visually obscured by the application of plaster. Columns are wood. Stone quoins accent the corners of the front wing. Historic drawings and photographs show the quoins, lintels, window casings and belt course as painted to contrast with wall surface (See HABS drawing and photograph page 11).

*NRHP Status Code: 1D

Page 3 of 11

*Resource Name or #: Officers Quarters Duplex (Buildings No. 25 & 26)

B1. Historic Name: Same

B2. Common Name: Same

B3. Original Use: Residence

B4. Present Use: Unoccupied

*B5. Architectural Style: Italianate

*B6. Construction History: Constructed 1874 by the U.S. Army. Minor alterations have been made to the exterior. West elevation porch partially enclosed, roof parapet and porch roof parapet removed at unknown dates during army occupancy. Front stair and balustrade removed circa 2000 due to deterioration. Stucco applied over brick walls.

*B7. Moved? No Yes Unknown Date: Original Location:

*B8. Related Features: The building is set on a large lot. There is a modern swimming pool and fence enclosure on the east side of the building and an open garage at the rear of the building. Neither is historic.

B9a. Architect: U.S. Army

b. Builder: U.S. Army

*B10. Significance: Theme: Military Benicia Arsenal Period of Significance: 1849-1960

Property Type: HP3 Applicable Criteria: A & C

The Benicia Arsenal historic district is listed in the National Register of Historic Places (1974). The Officers Quarters Duplex is identified as one of 34 contributing buildings within that district. Under Public Resources Code section 5024.1 the district also is listed in the California Register of Historical Resources. The Benicia Arsenal is listed as California State Landmark No. 176. The Officers Quarters Duplex also contributes to the City of Benicia local historic Arsenal district as described in the *Arsenal Historic Conservation Plan*, November, 1993. This locally designated district is larger than, and incorporates, the National Register district. It is a special historic overlay district adopted by the City of Benicia, October, 1987. The building was recorded by the Historic American Building Survey (HABS) in the 1940s and in 1976.

The building is significant under Criterion A for its association with the Benicia Arsenal, one of the earliest U.S. military establishments on the Pacific Coast, and one of five arsenals in the country at the time of its creation. The Arsenal operated continuously as a military installation from 1850-1964. It is also significant under Criterion A for the important economic role it played in the development of the City of Benicia. Under Criterion C the Officers residences are eligible as excellent examples of the Italianate Style of architecture.

The Officers Quarters Duplex retains much of its integrity. It has integrity of both location and setting. It is physically and visually associated with the other major officers quarters, the Commandant's House, along Jefferson Street, and it is in close proximity to the officers row of buildings that leads up the hill from the town to the Arsenal. Its original materials are largely intact and it exhibits strong evidence of workmanship from the period of construction. The primary entry and public rooms of the residence have original stair, floor, woodwork, moldings, doors, fireplaces and fenestration. Lesser spaces in the rear wing have undergone remodeling over the years, with the last alterations made in the 1950s. Original doors, window openings, porches, and columns are evident on the exterior. The two most obvious changes are alterations to the west porch and the partial removal of the front entry stair. The porch on the west side is partially enclosed. At the same time that a portion of the porch was enclosed, the remaining porch section was altered by the removal of the supporting Corinthian columns and the installation of a closed rail with a stair. The original porch roof with its decorative brackets was retained. These changes were most likely made by the army and, based on the building materials employed in the enclosure, occurred sometime between 1920 and 1940. This alterations falls within the period of significance. (See continuation sheet)

(This space reserved for official comments.)

Page 4 of 11

*Resource Name or # Officers Quarters Duplex (Building No. 25 & 26)

*Recorded by: Carol Roland, Ph.D.

*Date 3-10-08

Continuation Update

B10. Significance con't.

The front entry porch retains its foundation and its shed roof, now supported by two-by-fours. The stair, balustrade and support posts were removed circa 2000. These elements had deteriorated to the point of structural instability. This character defining feature of the building is well documented in historic photographs. The porch pediment was removed much earlier, prior to 1944 (See HABS photograph page 11).

Character defining features of the building that are extant include the roof line, fenestration, including the projecting bay on the west elevation, the east porch, front entry, quoins and belt course.

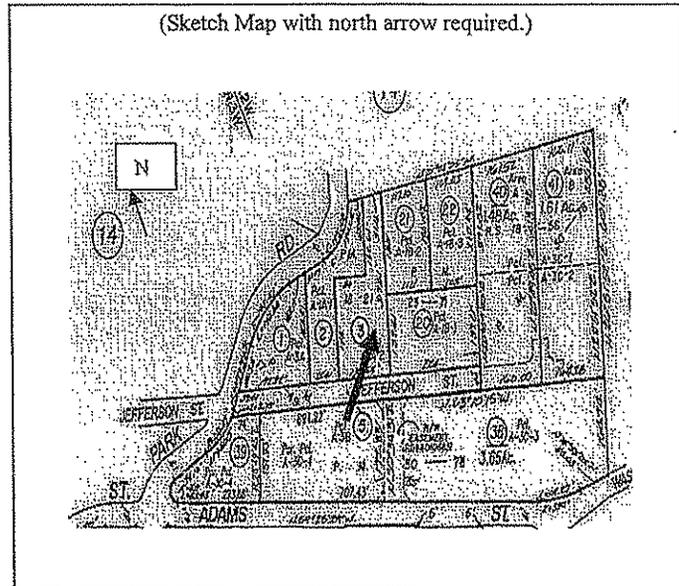
B11. Additional Resource Attributes: None

*B12. References: McAlester, Virginia and Lee. *A Field Guide to American Houses*, (New York: Alfred Knopf, 1986); Bruegmann, Robert. *Benicia Portrait of an Early California Town: An Architectural History* (San Francisco: 101 Productions 1980); Cowell, Josephine, W., *History of the Benicia Arsenal* (Berkeley: Howell-North, 1963); Woodbridge, Sally and Cannon Design Group. *Benicia, California: Arsenal Historic Conservation Plan*, 1993.

B13. Remarks: None

*B14. Evaluator: Carol Roland, Ph.D.
Roland Nawi Associates
956 Fremont Way
Sacramento, CA 95818

*B15. Date of Evaluation: 3-24-2008



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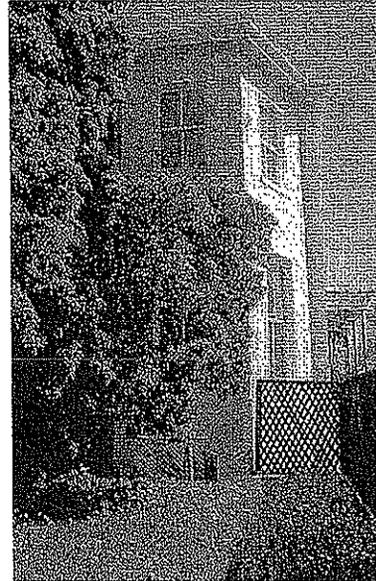
*Resource Name or # Officers Quarters Duplex (Building 25 & 26)

*Recorded by: Carol Roland, Ph.D.

*Date 3-10-08

■ Continuation □ Update

Additional Information:



Figures 1 & 2. West façade of the Officers Quarters Duplex. Porch with original roof has been partially enclosed. Canted bay is heavily obscured by vegetation. View east.

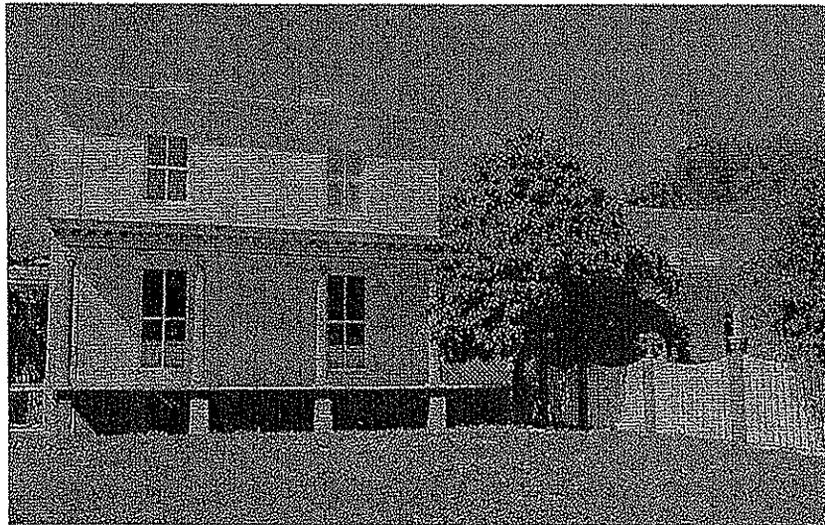


Figure 3. East façade with original porch and Corinthian columns. View west.

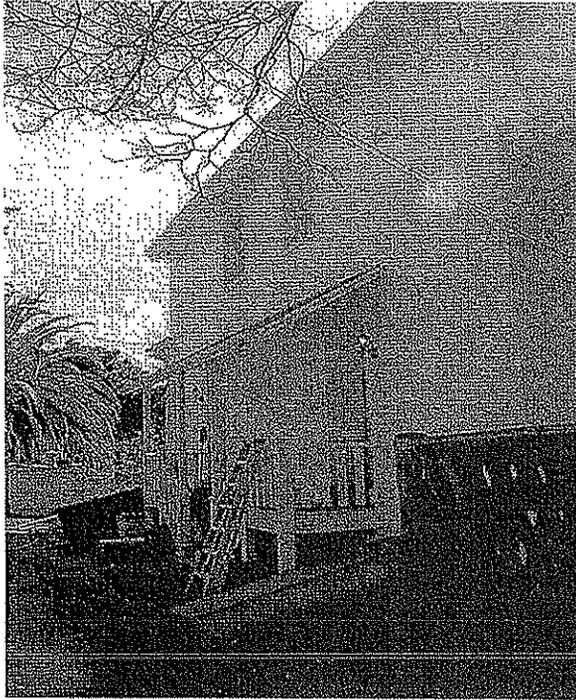


Figure 4 . Rear façade. View southeast.

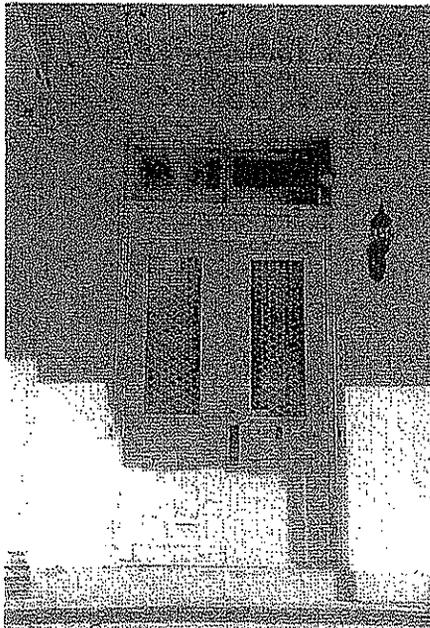


Figure 5. Detail: Entry Doors.

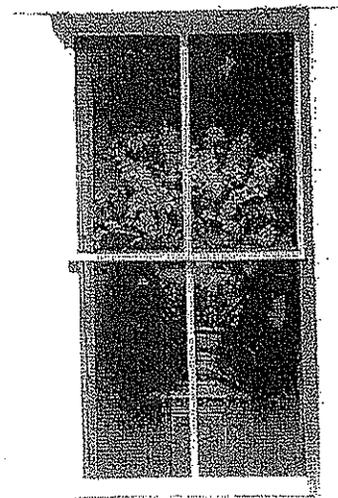


Figure 6. Detail: Typical window.

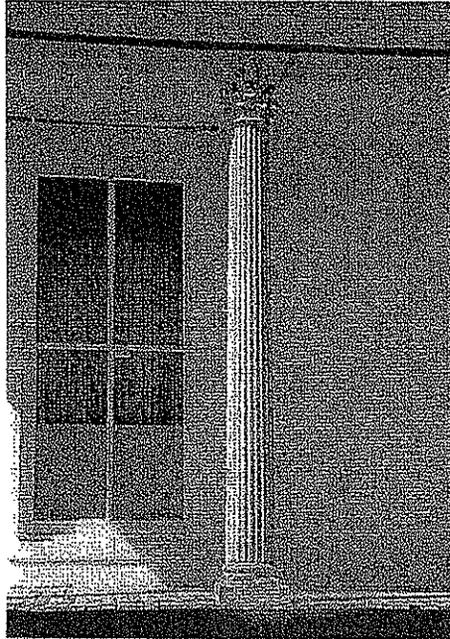


Figure 7. Detail: Porch columns.

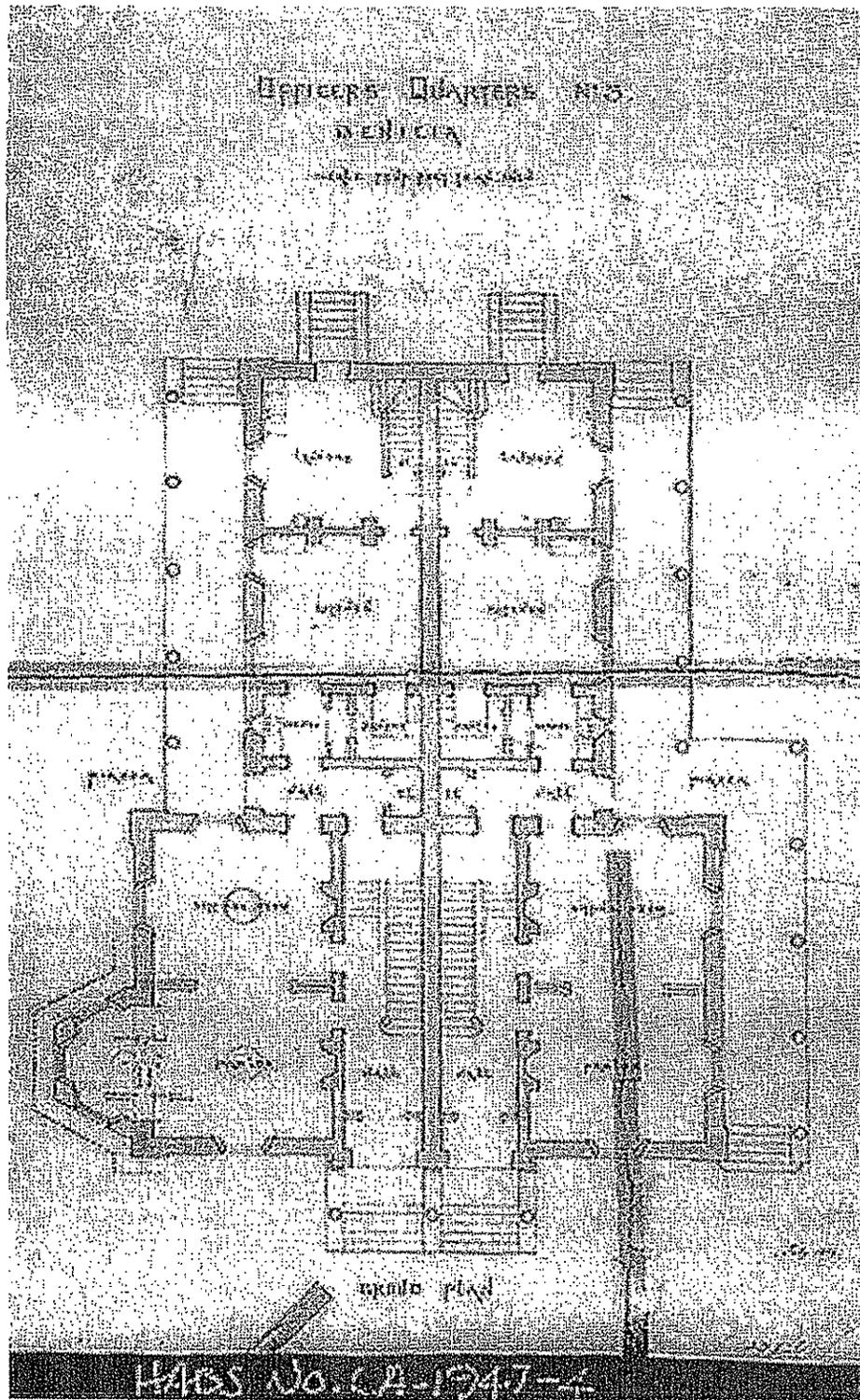


Figure 8. Floor plan of the Officers Quarters Duplex, 1873. HABS Collection.

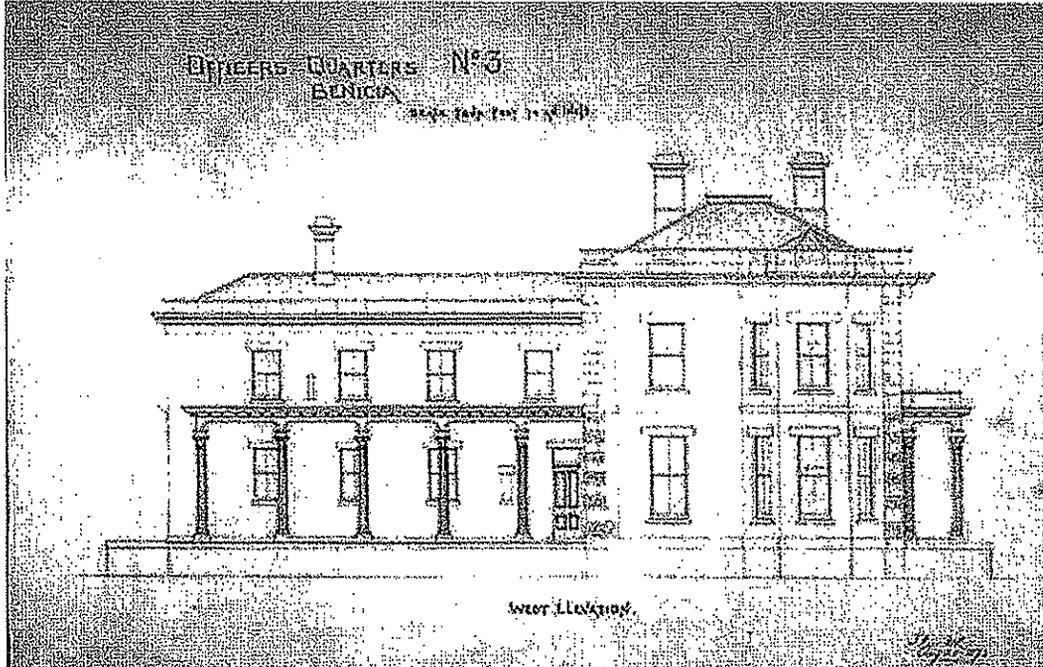


Figure 9. West elevation Officers Quarters Duplex, 1873. This porch is now partially enclosed. HABS Collection.



Figure 10. Officers Quarters Duplex as it appeared circa 1890. HABS Collection.



Figure 11. East elevation of the Officers Quarters Duplex with garden. Circa 1890. HABS Collection.

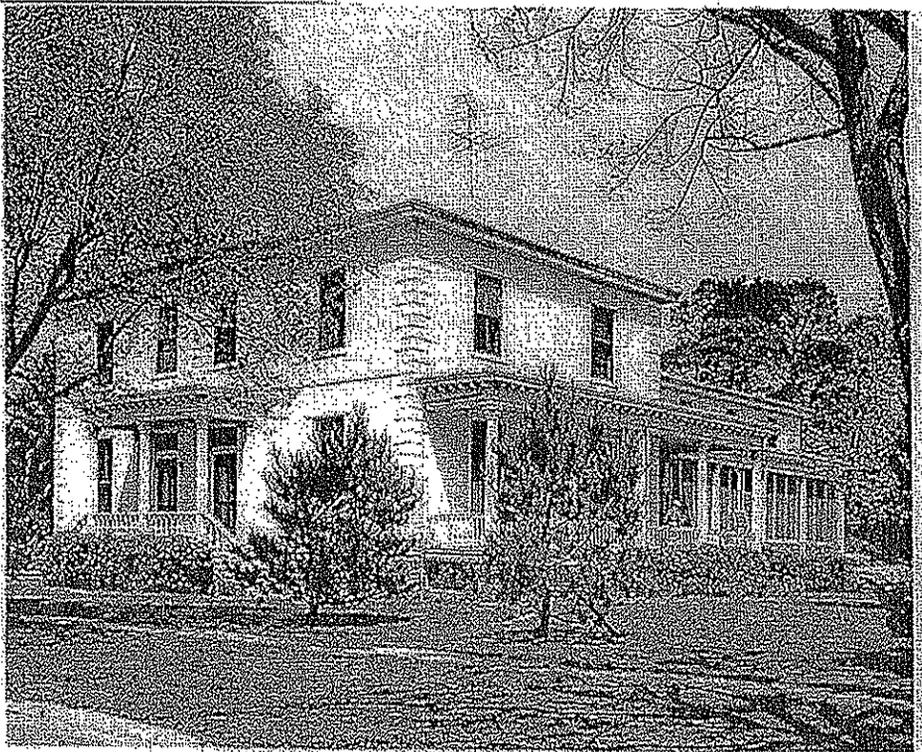


Figure 12. Front and East facades of Officers Quarters Duplex, 1944. HABS Collection.

AGENDA ITEM
HISTORIC PRESERVATION REVIEW COMMISSION MEETING
JULY 28, 2011
REGULAR AGENDA ITEMS

DATE : July 13, 2011

TO : Historic Preservation Review Commission

FROM : Mike Roberts, Senior Civil Engineer

SUBJECT : **STREETLIGHT IMPROVEMENTS FOR THE BENICIA INTERMODAL FACILITIES PROJECT AT FIRST & MILITARY**

RECOMMENDATION:

Recommend that, as part of the downtown Intermodal project, existing streetlights be replaced with the historic gooseneck streetlights along Military West and First Street between West 2nd and West K and historic lantern pedestrian streetlights be installed in the planter strip along West 2nd between West K and Military West.

EXECUTIVE SUMMARY:

The Benicia Intermodal Facilities Project will construct multimodal improvements that enhance and beautify the existing transit stop at First & Military (Exhibit A). The purpose of the project is to encourage the use of public transportation with the goal of reducing greenhouse gas emissions and roadway congestion. Funding is provided by a grant administered by the Metropolitan Transportation Commission.

The proposed streetlight improvements implement Benicia Main Street's recommendations (attached) to the maximum extent allowable by the grant, which requires that improvements be constructed within the defined project area and provide connectivity to the transit stop. The gooseneck and lantern style streetlights are in use along the majority of First Street and when installed during construction next Spring will provide a vertical gateway to the historic downtown.

GENERAL PLAN:

Relevant Goals and Policies include:

- Goal 2.17 Provide an efficient, reliable, and convenient transit system
- Goal 2.20 Provide a balanced street system to serve automobiles, pedestrian, bicycles, and transit, balancing vehicle-flow improvements with multi-modal considerations
- Goal 2.28: Improve and maintain public facilities and services

STRATEGIC PLAN:

Relevant Strategic Plan Issues and Strategies:

- ❑ Strategic Issue #2: Protecting and Enhancing the Environment
 - Strategy #1: Reduce greenhouse gas emissions and energy consumption
 - Strategy #3: Pursue and adopt sustainable practices
 - Strategy #4: Protect air quality by pursuing multiple mass transit opportunities
- ❑ Strategic Issue #4: Preserving and Enhancing Infrastructure
 - Strategy #2: Increase use of mass transit

BUDGET INFORMATION:

The Benicia Intermodal Facilities Project, which has sites on Military West at West K and First Street, is funded with a \$3 million Regional Measure 2 grant, administered by the Metropolitan Transportation Commission.

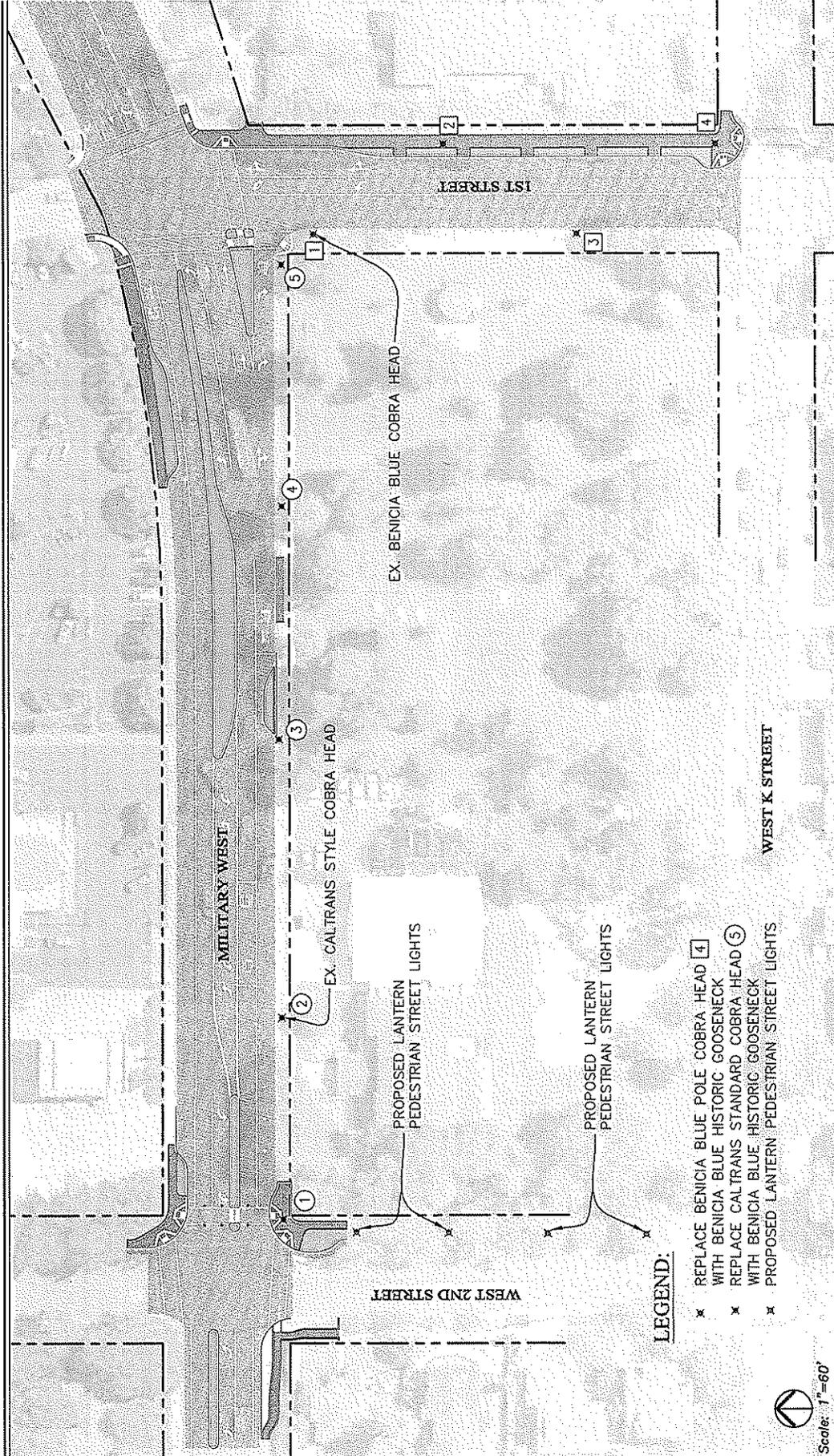
BACKGROUND:

Photographs of the existing and proposed streetlight models are attached to this report.

Attachments:

- ❑ Conceptual plan with staff recommended streetlight improvements.
- ❑ Benicia Main Street streetlight recommendations
- ❑ Photos of Proposed and Existing Streetlights

SITE ILLUSTRATION
(Exhibit A)





A California

Main Street City...

... fostering a unified

community effort to

downtown revitalization,

emphasis on historic

preservation, enhancing

the waterfront orienta-

tion, and creating a

quality mix of retail,

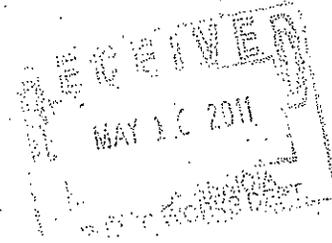
commercial, residential,

and recreational uses.

90 First Street
Benicia, CA 94510
(707) 745-9791
Fax (707) 745-1630
info@beniciamainstreet.org

May 13, 2011

Gina Eleccion
City of Benicia
250 East L Street
Benicia, CA 94510



Dear Gina:

The Design Committee of Benicia Main Street would like to submit the following recommendations for the Intermodal Upgrade Project.

The committee recommends that nineteen gooseneck and fifteen lantern style lights be replaced.

- Replace seven lantern style lights in City Park.
- Eight lantern style lights along the library south walkway.
- Five gooseneck style lights on First Street from Military to K Street.
- Five gooseneck style lights on Military West from First Street to West Second Street.
- Five gooseneck style lights on Military East from First Street to East Second Street.
- Two gooseneck style lights at the corner of First and K Streets.
- Two gooseneck style lights in Civic Center Park, next to Bocce Ball court.
- If funds are available the committee suggests 3 or 4 lantern style lights in City Park along West Second Street.

In addition we would also like to suggest that signage in City Park be upgraded with more uniformity. We also suggest that the replacement of cobra style lights on First Street be given a high priority to give the street more continuity.

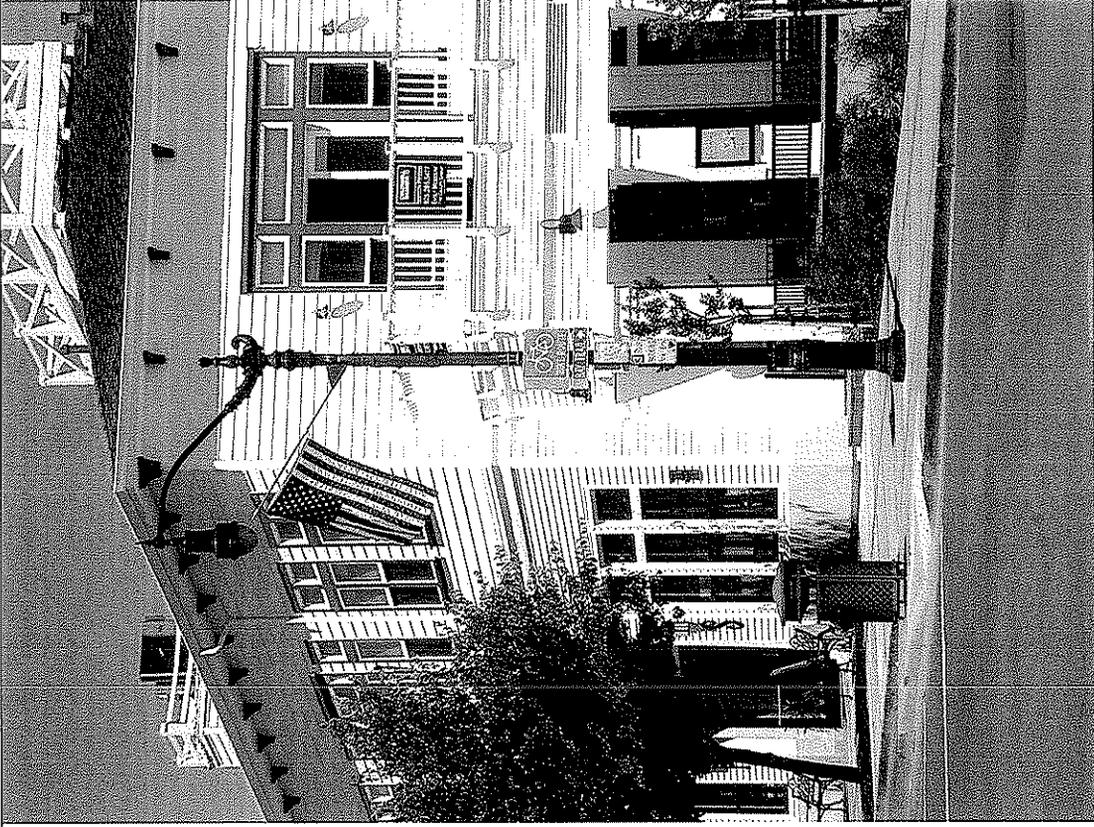
The Design Committee of Benicia Main Street would appreciate involvement in the project process.

Respectfully,

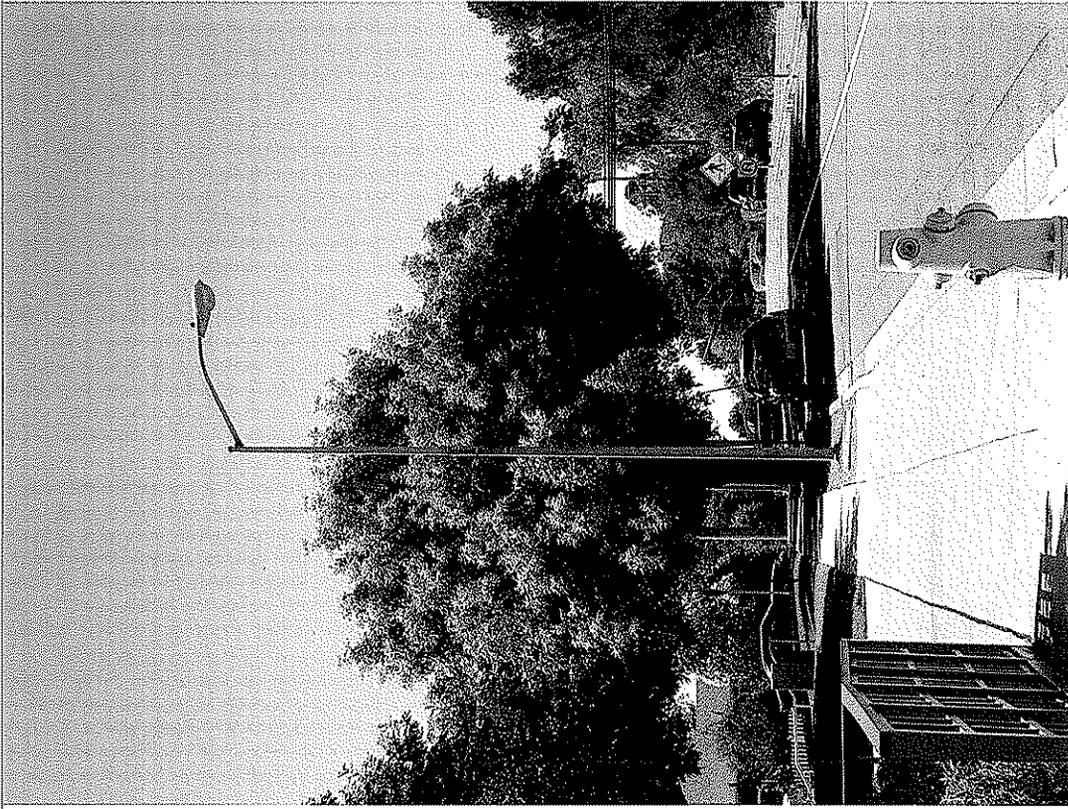
Nancy Martinez,
Executive Director



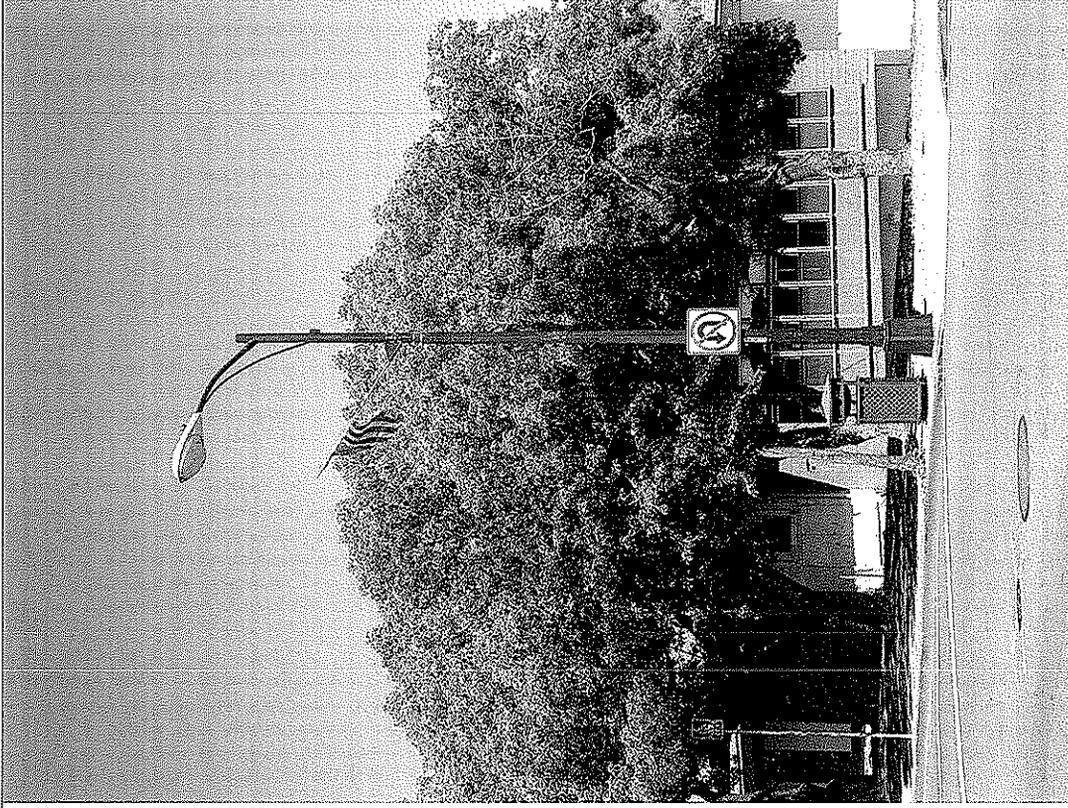
Proposed Lantern Style Pedestrian Scale Streetlight
First Street Looking North from Promenade



Proposed Gooseneck Style Vehicle Scale Streetlight
First & B looking North



Existing Modern Galvanized Cobra Streetlight
Military West in front of Fire Department Looking West



Existing Old Cobra Streetlight in Benicia Blue
First & K Looking Northeast



CALIFORNIA
PRESERVATION
FOUNDATION



July 19, 2011

Charlie Knox
City of Benicia, Public Works & Community Department
City Hall, 250 East L Street
Benicia, CA 94510

5 3RD STREET, SUITE 424
SAN FRANCISCO, CALIFORNIA
94103-3205

415.495.0349 PHONE
415.495.0265 FAX

CPF@CALIFORNIAPRESERVATION.ORG
WWW.CALIFORNIAPRESERVATION.ORG

Dear Charlie,

On behalf of the California Preservation Foundation and the 2011 Preservation Design Awards Jury, I am writing to congratulate you for being on the team that worked on the winning entry – City of Benicia Context Statement – which was selected for an award in the Cultural Resource Studies, Reports category! Ruth Todd at Page & Turnbull submitted the project for this years' Design Awards program and included your name on the list of project affiliates.

The Preservation Design Awards will be presented on Saturday, October 1, 2011 at a reception and awards ceremony at the San Francisco Conservatory of Music. A formal invitation with additional details will be mailed to you shortly.

Please carefully review and submit the timely and important forms as listed below so that CPF can give you your well-deserved recognition and properly present your award. Make sure to take note of these important due dates!

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EXECUTIVE DIRECTOR
Cindy L. Heltzman

- August 26th** - Award Certificate Order Form
- September 16th** - Award Acceptor notification
- October 1st** - Preservation Design Awards ceremony
- October 7th** - Postcard Order Form

In the coming week, we will e-mail you:

- **Award Certificate Order Form** – Certificates are printed in color on 11"x17" heavy-weight paper and acknowledge you and/or your firm as a winner of the 2012 CPF Preservation Design Awards. Certificates ordered by **August 26th** will be given at the awards ceremony (for those not in attendance, certificates will be mailed after the event).
- **On-Stage Award Acceptors Form** – Please notify Ruth Todd at Page & Turnbull if you will be attending the Awards Ceremony so they can add you to the list of award acceptors. And remember to obtain event tickets! Due **September 16th**.
- **Postcard Order Form** – Order a set or two of 500 deluxe, 5" x 7", color, 13 pt. 100% recycled matte postcards highlighting your project and recognizing your firm/organization as a 2011

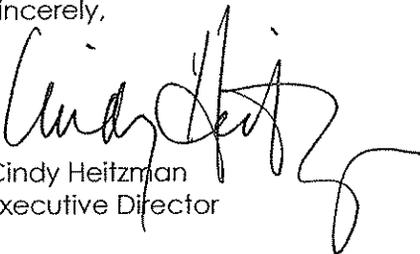
Preservation Design Award Winner. Samples enclosed. These make great marketing pieces and are only \$200 for 1st set of 500, \$150 per additional set. Order and email a high-resolution photo by **October 7th**.

Please submit all completed forms to cpf@californiapreservation.org.

I also ask that you consider sponsoring the 2011 Preservation Design Awards. The California Preservation Foundation is a non-profit 501(c)(3) organization and relies on financial donations to continue providing important educational and advocacy programs. In addition, there are many benefits for sponsors such as recognition and advertising opportunities, complimentary award ceremony tickets, VIP seating, and more! A sponsorship packet is enclosed for your use and details all the benefits. Please do not hesitate to contact me directly if you have any questions.

I am pleased that, through CPF's Preservation Design Awards program, your exemplary contribution to the preservation of California's rich and diverse historic resources can be most suitably recognized. Congratulations again, and I look forward to seeing you at the San Francisco Conservatory of Music on October 1st!

Sincerely,

A handwritten signature in black ink, appearing to read "Cindy Heitzman". The signature is fluid and cursive, with a large, sweeping flourish at the end.

Cindy Heitzman
Executive Director