

October 25, 2012

BENICIA HISTORIC PRESERVATION REVIEW COMMISSION

REGULAR MEETING AGENDA

City Hall Commission Room

Thursday, October 25, 2012

6:30 P.M.

I. OPENING OF MEETING:

A. Pledge of Allegiance

B. Roll Call of Commissioners

C. Reference to Fundamental Rights of Public -A plaque stating the Fundamental Rights of each member of the public is posted at the entrance to this meeting room per Section 4.04.030 of the City of Benicia's Open Government Ordinance.

II. ADOPTION OF AGENDA:

III. OPPORTUNITY FOR PUBLIC COMMENT

This portion of the meeting is reserved for persons wishing to address the Commission on any matter not on the agenda that is within the subject matter jurisdiction of the Historic Preservation Review Commission. State law prohibits the Commission from responding to or acting upon matters not listed on the agenda. Each speaker has a maximum of five minutes for public comment. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of your entire group. Speakers may not make personal attacks on commissioners, staff or members of the public, or make comments which are slanderous or which may invade an individual's personal privacy.

A. WRITTEN COMMENT

B. PUBLIC COMMENT

IV. CONSENT CALENDAR

Consent Calendar items are considered routine and will be enacted, approved or adopted by one motion unless a request for removal for discussion or explanation is received from the Historic Preservation Review Commission or a member of the public by submitting a speaker slip for that item.*Any Item identified as a Public Hearing has been placed on the Consent Calendar because it has

not generated any public interest or dissent. However, if any member of the public wishes to comment on a Public Hearing item, or would like the item placed on the regular agenda, please notify the Community Development Staff either prior to, or at the Historic Preservation Review Commission meeting, prior to the reading of the Consent Calendar.

A. [Approval of Minutes of September 27, 2012](#)

B. [Adoption of the Historic Preservation Review Commission 2013 Meeting Schedule](#)

C. [916 WEST THIRD STREET - DESIGN REVIEW\(12PLN-00043\) REPLACEMENT 13 WINDOWS](#)

PROPOSAL:

The property owner at 916 West Third Street is seeking Design Review approval to replace 13 aluminum windows with vinyl windows at this single-family residence. The structure is located within the Downtown Historic District, however it is not listed as a designated historic structure.

Recommendation:

Adopt a resolution approving the replacement of 13 aluminum windows with new vinyl windows for the residence at 916 West Third Street based on the findings and subject to the conditions of approval set forth in the draft resolution.

V. **REGULAR AGENDA ITEMS**

A. [475 EAST I STREET – DESIGN REVIEW\(12PLN-00046\) ST. DOMINIC’S RE-ROOF](#)

PROPOSAL:

The applicant proposes to replace the existing composition shingle roof on the two dome towers with copper. The St. Dominic’s Catholic Church is listed as a local landmark in the Downtown Historic Conversation Plan.

Recommendation:

Adopt a resolution approving the design review request to replace the existing composition shingle roofing material on the two dome towers with copper on the landmark [St. Dominic's Church at 475 East I Street](#), based on the findings and conditions of approval set forth in the draft resolution.

B. [133 WEST E STREET– DESIGN REVIEW \(12PLN-00048\)](#)

PROPOSAL:

The applicant proposes to construct a new foundation which will raise the overall height of the structure 1’-9" and move it 2’-9" to the northeast. The building is listed as a contributing structure to the Downtown Historic District.

Recommendation:

Adopt a resolution approving the design review request to raise and move the single-family residence at [133 West E Street](#), based on the findings and subject to the conditions of approval set forth in the draft resolutions.

C. DESIGNATE A COMMISSIONER TO REPRESENT HPRC AT THE CITY COUNCIL MEETING FOR THE MILLS ACT CONTRACTS

At the September 27, 2012 Historic Preservation Review Commission meeting, the Commission recommended approval of the 3 proposed Mills Act Contracts. The City Council will consider these applications on November 20, 2012.

VI. COMMUNICATIONS FROM STAFF

VII. COMMUNICATIONS FROM COMMISSIONERS

A. Update on Work Group for Historic District Information

At the July 26, 2012 Historic Preservation Review Commission meeting, the Commission agreed to establish a Work Group to complete the brochure. The Work Group includes Commissioners Van Landschoot, Haughley, and Trumbly. The Work Group will provide an update.

VIII. ADJOURNMENT

Public Participation

The Benicia Historic Preservation Review Commission welcomes public participation. Pursuant to the Brown Act, each public agency must provide the public with an opportunity to speak on any matter within the subject matter jurisdiction of the agency and which is not on the agency's agenda for that meeting. The Historic Preservation Review Commission allows speakers to speak on agendized and non-agendized matters under public comment. Comments are limited to no more than 5 minutes per speaker. By law, no action may be taken on any item raised during the public comment period although informational answers to questions may be given and matters may be referred to staff for placement on a future agenda of the Historic Preservation Review Commission. Should you have material you wish to enter into the record, please submit it to the Commission Secretary.

Disabled Access

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting, please contact the ADA Coordinator at (707) 746-4211. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Meeting Procedures

All items listed on this agenda are for Commission discussion and/or action. In accordance with the Brown Act, each item is listed and includes, where appropriate, further description of the item and/or a recommended action. The posting of a recommended action does not limit, or necessarily indicate, what action the Commission may take.

The Historic Preservation Review Commission may not begin new public hearing items after 11 p.m. Public hearing items, which remain on the agenda, may be continued to the next regular meeting of the Commission, or to a special meeting.

Pursuant to Government Code Section 65009; if you challenge a decision of the Historic Preservation Review Commission in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Historic Preservation Review Commission at, or prior to, the Public Hearing. You may also be limited by the ninety (90) day statute of limitations in which to file and serve a petition for administrative writ of mandate challenging any final City decisions regarding planning or zoning.

Appeals of Historic Preservation Review Commission decisions that are final actions, not recommendations, are considered by the Planning Commission. Appeals must be filed in the Community Development Department in writing, stating the basis of appeal with the appeal fee within 10 business days of the date of action.

Public Records

The agenda packet for this meeting is available at the City Clerk's Office, the Benicia Public Library and the Community Development Department during regular working hours. The Community Development Department is open Monday through Friday (except legal holidays), 8:30 a.m. to 5 p.m. (closed from noon to 1 p.m.). Technical staff is available from 8:30 - 9:30 a.m. and 1:00 - 2:00 p.m. only. If you have questions/comments outside of those hours, please call 746-4280 to make an appointment. To the extent feasible, the packet is also available on the City's web page at www.ci.benicia.ca.us under the heading "Agendas and Minutes." Public records related to an open session agenda item that are distributed after the agenda packet is prepared are available before the meeting at the Community Development Department's office located at 250 East L Street, Benicia, or at the meeting held in the City Hall Commission Room. If you wish to submit written information on an agenda item, please submit to Amy Million, Principal Planner, as soon as possible so that it may be distributed to the Historic Preservation Review Commission.

 [Approval of Minutes September 27, 2012](#)

 [HPRC 2013 Meeting Schedule](#)

 [Agenda Item - 916 West Third Street](#)

 [Agenda Item - 475 East I Street](#)

 [475 East I Street Site Plan and Elevations](#)

 [Agenda Item - 133 West E Street](#)

 [133 West E Street Site Plan and Elevations](#)

DRAFT



**BENICIA HISTORIC PRESERVATION REVIEW COMMISSION
REGULAR MEETING MINUTES**

**City Hall Commission Room
Thursday, September 27, 2012
6:30 P.M.**

I. OPENING OF MEETING:

A. Pledge of Allegiance

B. Roll Call of Commissioners

Present: Commissioners Delgado, McKee, Taagepera (arrived 7:08 p.m.), Trumbly and Chair Haughey

Absent: Commissioners Van Landschoot and Crompton

Staff Present: Charlie Knox, Community Development Director
Amy Million, Principal Planner, Recording Secretary

C. Reference to Fundamental Rights of Public

II. ADOPTION OF AGENDA:

On motion of Commissioner Delgado, seconded by Commissioner Trumbly, the Agenda was approved by the following vote:

Ayes: Commissioners Delgado, McKee, Trumbly and Chair Haughey

Noes: None

Absent: Commissioners Crompton, Van Landschoot and Taagepera

Abstain: None

III. OPPORTUNITY FOR PUBLIC COMMENT

A. WRITTEN COMMENT

None

B. PUBLIC COMMENT

None

IV. CONSENT CALENDAR

A. Approval of Minutes of August 23, 2012

On motion of Commissioner Delgado, seconded by Commissioner Trumbly, the minutes of the August 23, 2012, meeting were approved by the following vote:

Ayes: Commissioners Delgado, McKee, Trumbly and Chair Haughey
Noes: None
Absent: Commissioners Crompton, Van Landschoot and Taagepera
Abstain: None

V. REGULAR AGENDA ITEMS

A. MILLS ACT PROGRAM STATUS

Ms. Million provided a brief overview of the Mills Act Contract program costs and available funds.

B. 135 EAST J STREET – MILLS ACT CONTRACT (12PLN-00014)

Ms. Million provided a presentation of the proposed application and draft contract.

Jack Mccoun, project manager, gave an overview of the restoration work they have completed on the house. The restoration work was discussed among the Commissioners and the applicant.

No public comment.

RESOLUTION NO. 12-7 OF THE HISTORIC PRESERVATION REVIEW COMMISSION OF THE CITY OF BENICIA RECOMMENDING CITY COUNCIL AUTHORIZE THE CITY MANAGER TO ENTER INTO A MILLS ACT CONTRACT FOR THE PROPERTY LOCATED AT 135 EAST J STREET

On motion of Commissioner McKee, seconded by Commissioner Delgado, the above resolution was approved by the following vote:

Ayes: Commissioners Delgado, McKee, Trumbly and Chair Haughey
Noes: None
Absent: Commissioners Crompton, Van Landschoot and Taagepera
Abstain: None

Prior to the opening of Agenda Item V. C., Commissioner Trumbly recused herself.

Staff suggested that Chair Haughey call a 10-minute recess to wait for Commissioner Taagepera. A recess was called at 6:58 p.m.

Meeting reconvened at 7:08 p.m.

C. 175 WEST H STREET – MILLS ACT CONTRACT (12PLN-00023)

Ms. Million provided a presentation of the proposed application and draft contract.

Commissioners discussed the potential tax savings should the contract be approved

No public comment.

RESOLUTION NO. 12-8 OF THE HISTORIC PRESERVATION REVIEW COMMISSION OF THE CITY OF BENICIA RECOMMENDING CITY COUNCIL AUTHORIZE THE CITY MANAGER TO ENTER INTO A MILLS ACT CONTRACT FOR THE PROPERTY LOCATED AT 175 WEST H STREET

On motion of Commissioner McKee, seconded by Commissioner Taagepera, the above resolution was approved by the following vote:

Ayes: Commissioners Delgado, McKee, Taagepera and Chair Haughey
Noes: None
Absent: Commissioners Crompton and Van Landschoot
Abstain: Commissioner Trumbly

Prior to the opening of the Agenda Item V. D., Chair Haughey recused herself. Commissioner Trumbly returned to the meeting.

D. 288 WEST J STREET – MILLS ACT CONTRACT (12PLN-00027)

Ms. Million provided a brief overview of the proposed application and draft contract.

Priscilla Whitehead, property owner, requested that the work program reflect that she would like the new railing, which will replace the existing wrought iron railing, to match the existing wood guardrail. The Commissioners agreed and suggested that additional language be included in the contract work plan.

The Commissioners and Ms. Whitehead discussed the new railing and the leveling of the front yard.

No public comment.

Commissioner Taagepera requested clarification from staff on the design review process for the review of the new railing. Staff confirmed that with specific language in the work plan, the new railing could be approved administratively

through the building permit process.

The Commission agreed to the following condition of approval: The new railing shall match the style of the existing wood guardrail. The new railing posts shall be of similar design as the base of porch support posts. This work item may be approved administratively; however, if staff prefers to have the Commission review the alteration, no fee would be charged.

RESOLUTION NO. 12-9 OF THE HISTORIC PRESERVATION REVIEW COMMISSION OF THE CITY OF BENICIA RECOMMENDING CITY COUNCIL AUTHORIZE THE CITY MANAGER TO ENTER INTO A MILLS ACT CONTRACT FOR THE PROPERTY LOCATED AT 288 WEST J STREET

On motion of Commissioner McKee, seconded by Commissioner Trumbly, the above resolution was approved by the following vote:

Ayes: Commissioners McKee, Taagepera, Trumbly and Vice Chair Delgado
Noes: None
Absent: Commissioners Crompton and Van Landschoot
Abstain: Chair Haughey

Chair Haughey returned to the meeting.

VII. COMMUNICATIONS FROM STAFF

None

VIII. COMMUNICATIONS FROM COMMISSIONERS

Commissioner Trumbly announced that Carol Roland is the newly appointed State Historic Preservation Officer.

Commissioner Delgado requested that staff provide an update on the re-roofing project at St. Dominic's church. Ms. Million provided an update on the correspondence with the applicants.

Chair Haughey provided an update on the brochure for the historic district and provided insight on whether a brochure is the correct approach or a handout on what type of exterior work is appropriate for the property. Chair Haughey suggested that this item be agendaized for the next meeting.

Commissioner Taagepera announced that this may be her last meeting and she has enjoyed serving on the Commission and commented on her experience.

IX. ADJOURNMENT

Chair Haughey adjourned the meeting at 7:53 p.m.



Community Development Department
MEMORANDUM

Date: October 16, 2012
To: Historic Preservation Review Commission
From: Amy Million, Principal Planner
Re: 2013 Historic Preservation Review Commission Meeting Schedule

The Historic Preservation Review Commission meeting schedule is listed below for your reference and approval.

January 24, 2013	July 25 , 2013
February 28, 2013	August 22, 2013
March 28, 2013	September 26, 2013
April 25, 2013	October 24, 2013
May 23, 2013	**November 21, 2013
June 27, 2013	**December 19, 2013

**** Alternate date due to statutory holiday or proximity to holiday week.**

**AGENDA ITEM
HISTORIC PRESERVATION REVIEW COMMISSION MEETING
OCTOBER 25, 2012
CONSENT CALENDAR**

DATE : October 17, 2012

TO : Historic Preservation Review Commission

FROM : Lisa Porras, Senior Planner

SUBJECT : **REPLACEMENT OF 13 WINDOWS AT 916 WEST THIRD STREET**

PROJECT : 12PLN-43 Design Review
916 West Third Street
APN: 089-041-270

RECOMMENDATION:

Adopt a resolution approving the replacement of 13 aluminum windows with new vinyl windows for the residence at 916 West Third Street based on the findings and subject to the conditions listed in the proposed resolution.

EXECUTIVE SUMMARY:

The property owner at 916 West Third Street is seeking Design Review approval to replace 13 aluminum windows with vinyl windows at this single-family residence. The structure is located within the Downtown Historic District, however it is not listed as a designated historic structure. The property is subject to the Downtown Historic Conservation Plan's (DHCP) design guidelines for residential building types under the "New Construction" category, which applies to alterations to existing non-historic residential buildings.

BUDGET INFORMATION:

There are no impacts to the City budget if this project were to be approved.

ENVIRONMENTAL ANALYSIS:

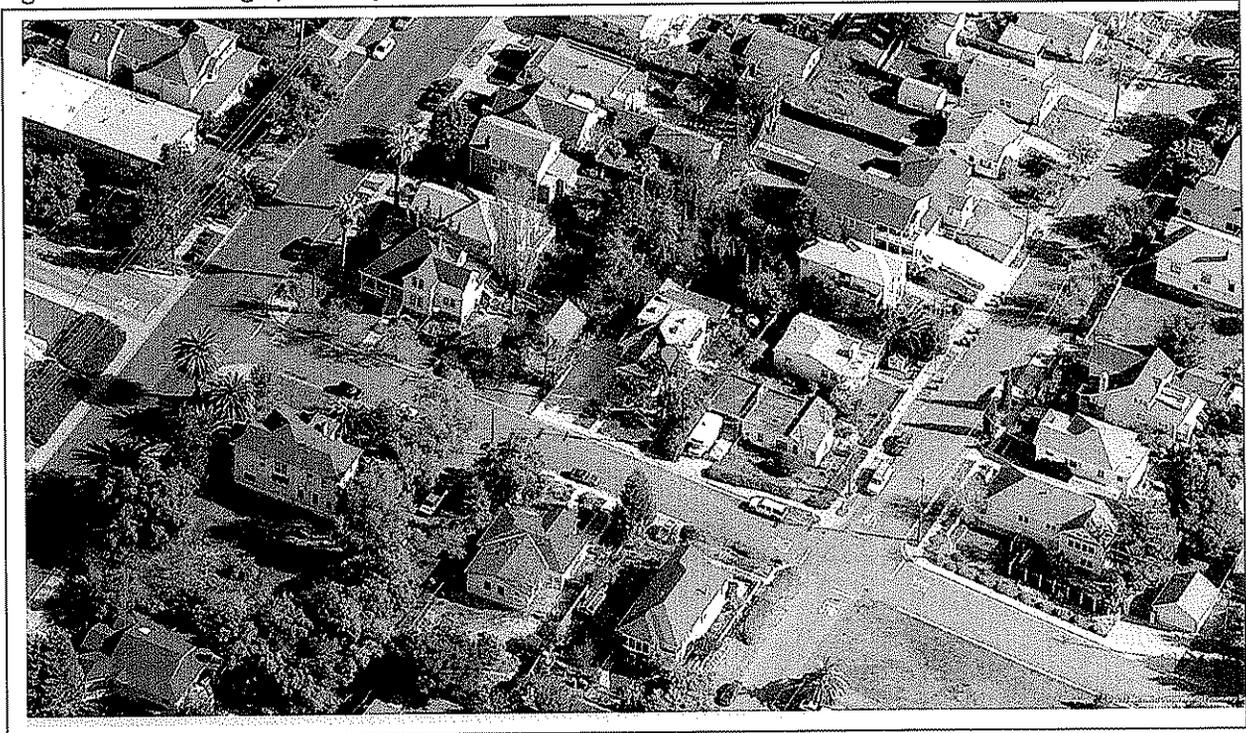
This project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 that applies to minor alterations of existing private structures.

SUMMARY:

Site Description

The property is located on the east side of West Third Street between I and J Streets (see Figure 1).

Figure 1. Aerial Photograph of Project Site



Project Description

The applicant's request is to replace 13 existing dual paned windows (with interior grids) with new dual pane windows. The existing windows are aluminum and approximately 17-20 years old. The owner proposes new, energy-efficient vinyl windows by Atrium, Heirloom Collection consisting of vinyl with a factory finish in almond or white. The glass will be clear paned and have no interior grids.

APPLICABLE DESIGN GUIDELINES FROM THE DHCP FOR RESIDENTIAL BUILDING TYPES, NEW CONSTRUCTION CATEGORY	STAFF ANALYSIS
5.7: Set in or "nail-on" aluminum windows with thin frames set close to the exterior wall surface are not appropriate.	Aluminum windows are not proposed.
5.8: Window frames should be painted or factory-finished. Metallic finishes such as silver or bronze anodized aluminum are inappropriate.	No metallic finishes are proposed. The proposed windows contain a factory finish (in almond or white).

Conclusion

The proposed alteration to change existing aluminum windows to vinyl windows is consistent with applicable regulations set forth in the Downtown Historic Conservation Plan. Staff recommends that the Historic Preservation Review Commission approve Design Review for window replacement based on the findings and conditions listed in the draft resolution.

FURTHER ACTION:

The decision of the Historic Preservation Review Commission may be appealed to the Planning Commission within ten (10) business days, or by 5:00 p.m. on November 8, 2012.

Attachments:

- Draft Resolution
- Applicant's written statement
- Photographs
- Specifications for Atrium Heirloom Windows

DRAFT RESOLUTION

RESOLUTION NO. 12- (HPRC)

A RESOLUTION OF THE HISTORIC PRESERVATION REVIEW COMMISSION OF THE CITY OF BENICIA APPROVING DESIGN REVIEW TO REPLACE 13 EXISTING WINDOWS WITH 13 NEW VINYL WINDOWS AT THE PROPERTY LOCATED AT 916 WEST THIRD STREET

WHEREAS, George and Corrine Oakes, property owners, have requested Design Review approval to replace 13 windows on their single family residence at 916 West Third Street; and

WHEREAS, the Historic Preservation Review Commission at a regular meeting on October 25, 2012, conducted a public hearing and reviewed the proposed project.

NOW, THEREFORE, BE IT RESOLVED THAT the Historic Preservation Review Commission of the City of Benicia finds that:

- a. The materials submitted for review and approval of replacement windows are consistent with the purposes of Design Review (BMC 17.108.010); and
- b. The materials submitted for approval of replacement windows are consistent with the Downtown Historic Conservation Plan.
- c. This project is Categorically Exempt from the State of California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines that exempts minor alterations of existing private structures.

BE IT FURTHER RESOLVED that the Historic Preservation Review Commission hereby approves the replacement of 13 windows on the existing residential structure subject to the following conditions:

1. The plans submitted for approval of window installation be in substantial compliance with the documents date stamped September 25, 2012 marked Exhibit A submitted by the applicant consisting of eight (8) pages and on file in the Community Development Department.
2. This approval shall expire two years from the date of approval, unless made permanent by the issuance of a building permit and the commencement of work that is diligently pursued to completion. Alternatively, the time period may be extended, by the Community Development Director, if the application for time

extension is received in writing prior to the end of the initial two year deadline and there has been no change in the City's development policies which affect the site, and there is no change in the physical circumstances nor new information about the project site which would warrant reconsideration of the approval.

3. The project shall adhere to all applicable ordinances, standard plans, and specifications of the City of Benicia.
4. Any alteration of the approved plans, including substitution of materials or changes in design, shall be requested in writing for consideration and approval by the Historic Preservation and Review Commission prior to changes being made in the field.
5. The applicant or permittee shall defend, indemnify, and hold harmless the City of Benicia or its agents, officers, and employees from any claim, action, or proceeding against the City of Benicia or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.

* * * * *

On motion of Commissioner _____, seconded by Commissioner _____, the above Resolution was adopted at a regular meeting of the Historic Preservation Review Commission on October 25, 2012 by the following vote:

Ayes:

Noes:

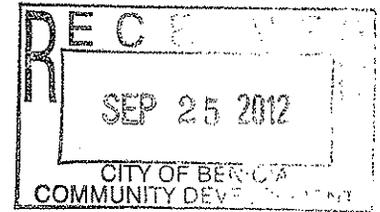
Absent:

Abstain:

Historic Preservation Review Commission Chair

APPLICANT'S WRITTEN STATEMENT

George and Corrine Oakes
916 West 3rd Street
Benicia, CA 94510



Subject: Replace exterior windows

Benicia, Historic Preservation Review Committee

This project request is to replace 13 existing dual pane windows with new dual pane windows. The existing windows were installed in the house about 17-20 years ago and were manufactured by Viking. Viking is no longer manufacturing windows.

The windows to be replaced are aluminum framed and most have side-mounted spring-assisted slides. These slides have broken and replacement parts are not available. Also, two of the replacement windows have holes in them; source of damage "I don't know!"

The existing windows have an interior grid, and most other windows in the house have clear pane; please see the pictures attached. Our proposed replacement windows have clear panes. The safety code now requires windows installed less than 18 inches from the floor be tempered. Ten of the 13 replacement windows are installed less than 18 inches from the floor and thus will have improved safety upon replacement.

Our old house has seen many changes in its 120+ year life. We have worked to improve the property while preserving the characteristic of the period house. Replacing these windows will improve the overall appearance while improving our energy efficiency.

The attached pictures provide a basic tour around our house. We believe the replacement windows will enhance the overall Victorian look of the house and not distract from the characteristics. Request your approval of our proposed project.

A handwritten signature in black ink, appearing to read "George & Corrine Oakes".

George & Corrine Oakes

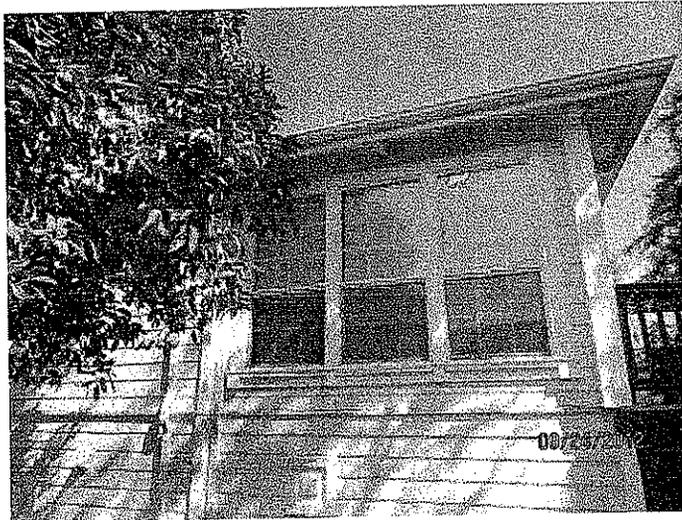
PHOTOGRAPHS



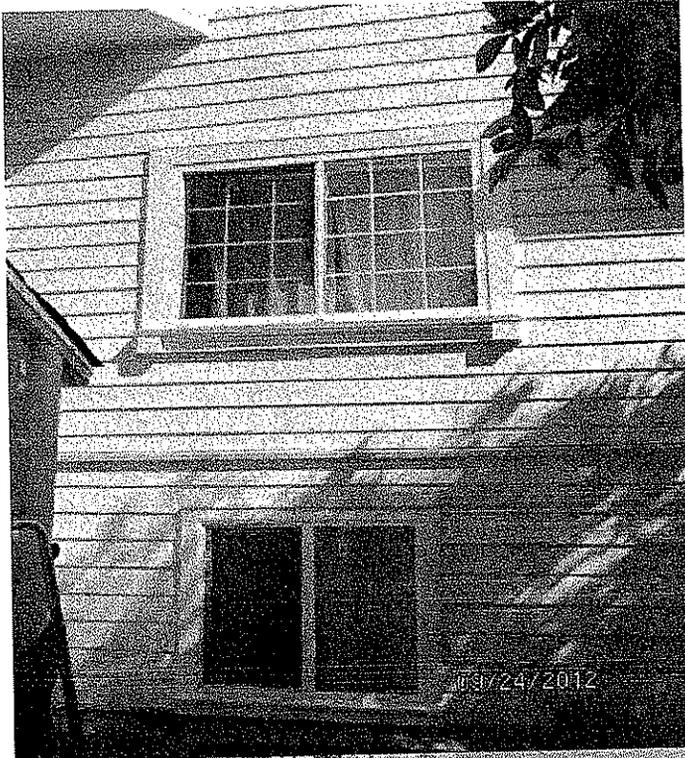
Back of house, family room.



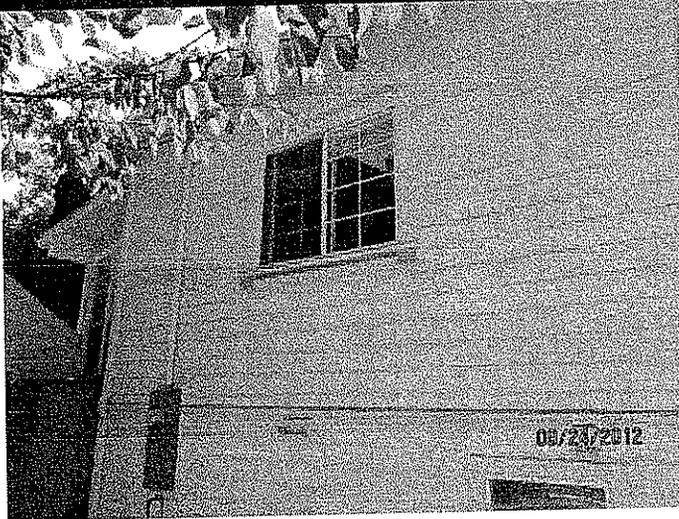
Back of house, dining area



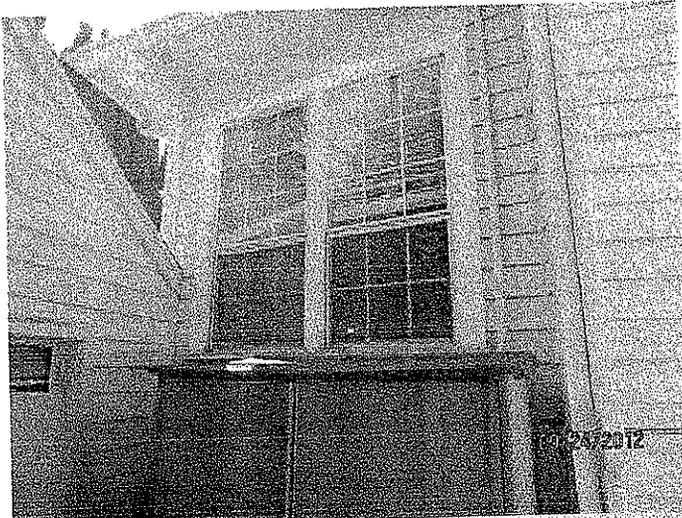
Side of house, family room



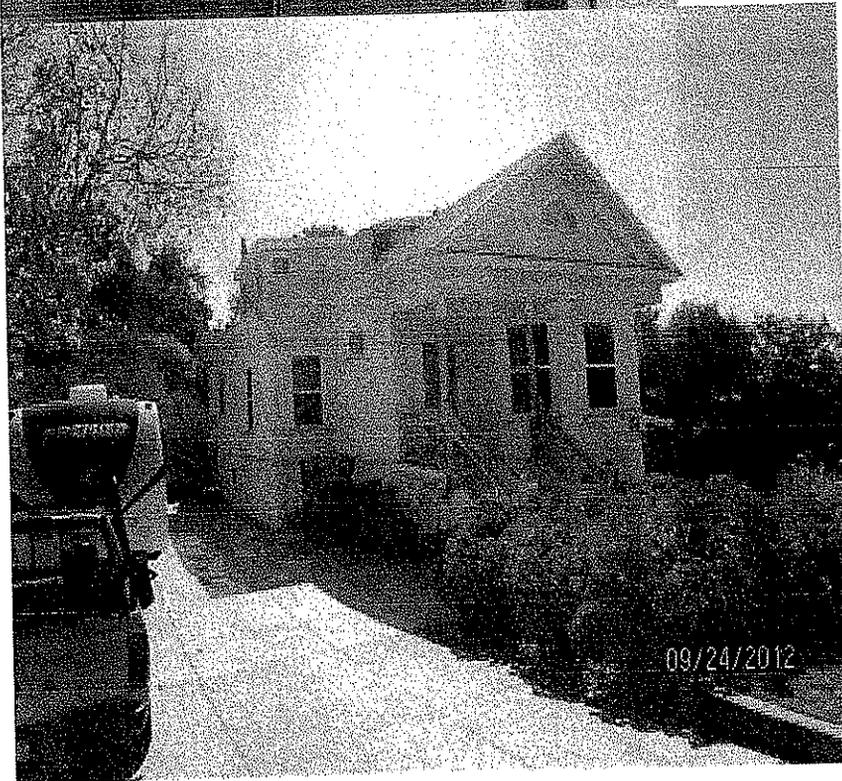
Side of house, bedroom window



Kitchen window, driveway side of house.



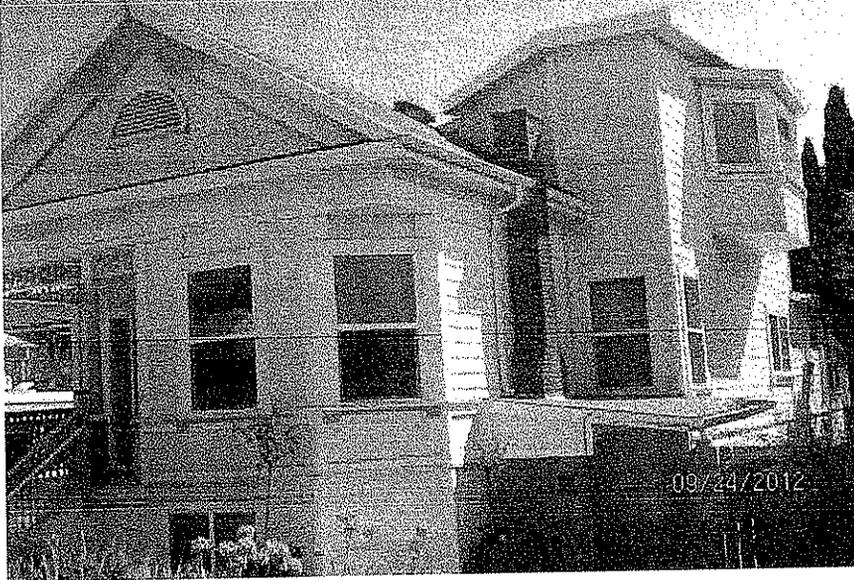
Dining area, driveway side of house.



Front of house, kitchen along left side, partially visible window.



Front side view, bedroom window
back right side.



Close up from street of house side.

**SPECIFICATIONS ON ATRIUM HEIRLOOM
WINDOWS**

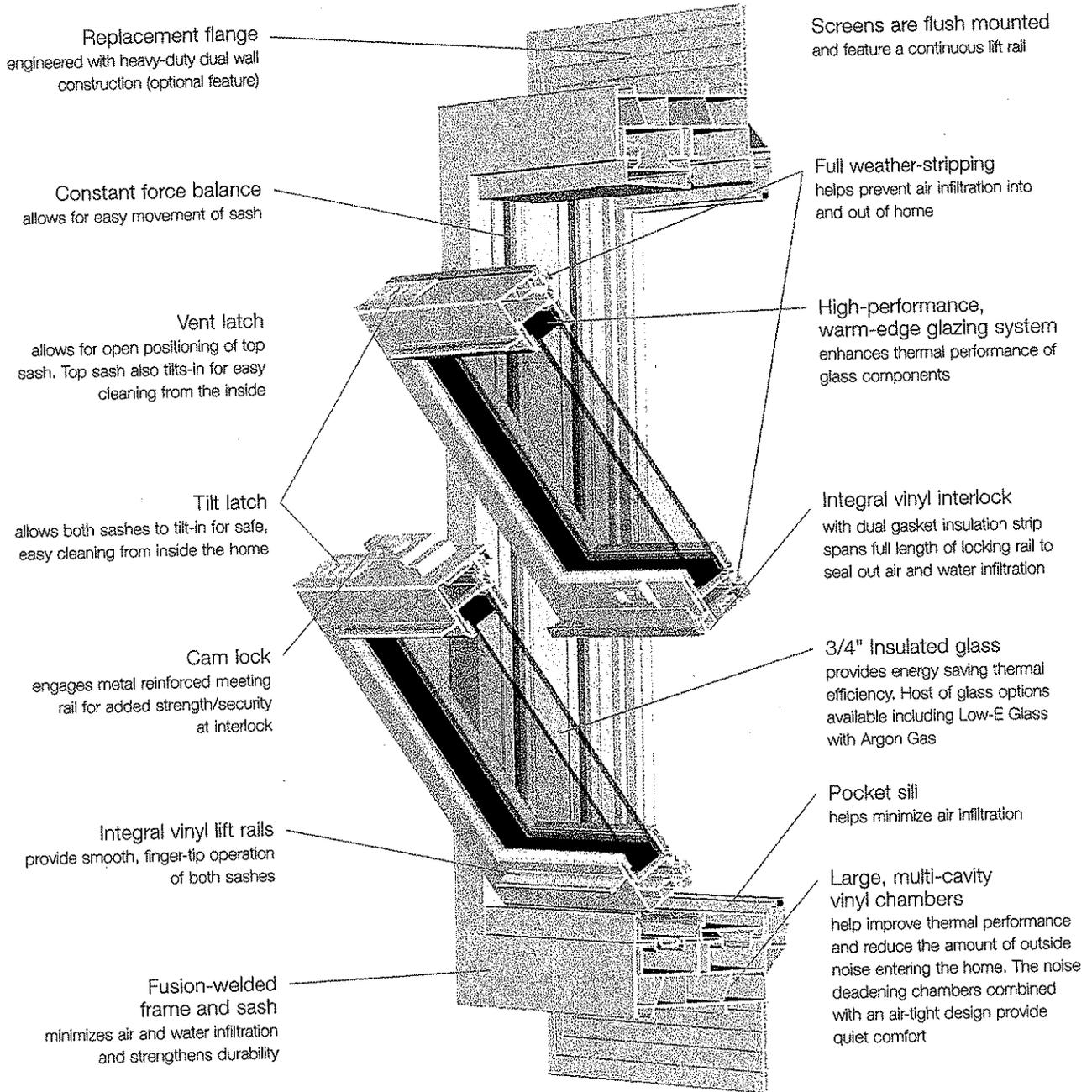
THE BEST

features

PROVIDE OUTSTANDING BENEFITS

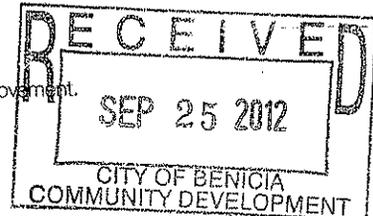
Meticulous craftsmanship sets Atrium Heirloom windows apart. Take a closer look at the top-of-the-line engineering features that make this our premier window collection. Available in:

- Nail Fin
- Replacement Flange
- Block Frame
- Brick Mould



Choice of White or Almond color
White shown here

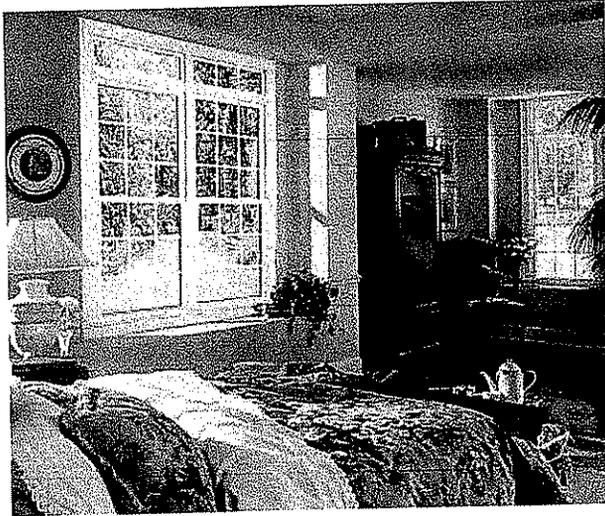
Manufacturer reserves the right to substitute components as necessary for continued product improvement.



HEIRLOOM™

styling

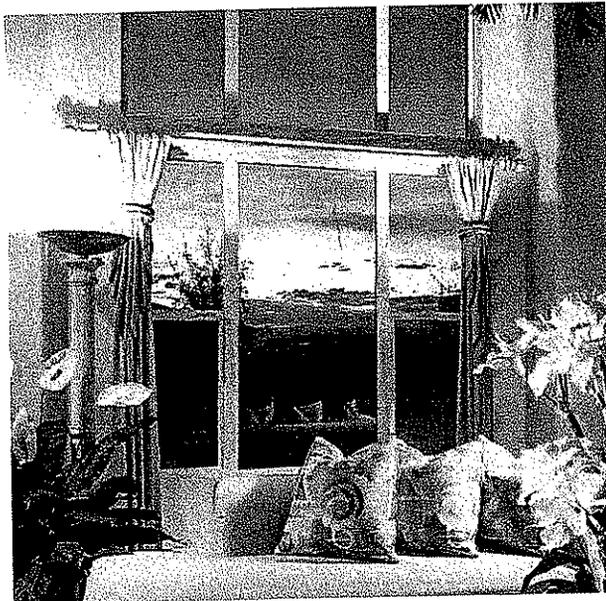
The Heirloom™ Collection is available in a host of the most popular window styles designed to inspire your imagination. Many of these windows can be combined or enhanced with accent windows to create architectural interest and add fashion and function to your home.



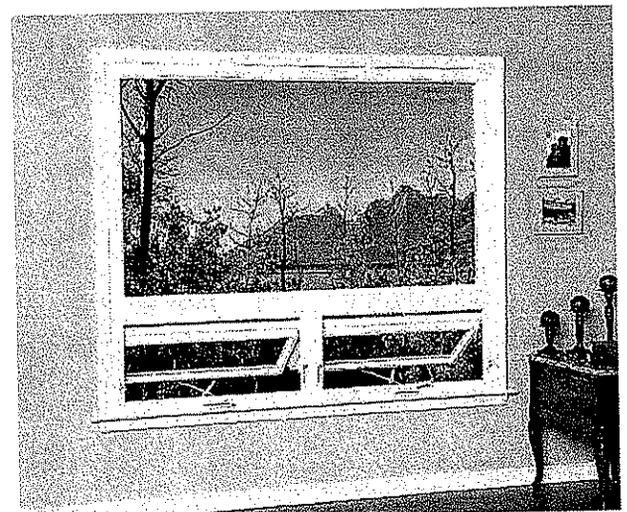
DOUBLE-HUNG WINDOWS Traditional architectural styling is always in fashion. Both sashes are operable and tilt-in for easy cleaning from inside the home.



SLIDING WINDOWS These beautiful windows glide effortlessly and can be removed for easy cleaning.



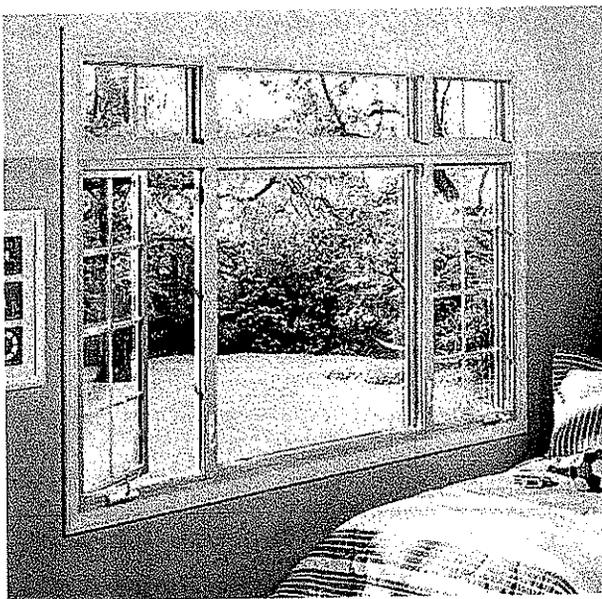
PICTURE WINDOWS Sometimes simple is better. Combine a picture window with other windows to create something special.



AWNING WINDOWS Awning windows are hinged at the top and swing outward from the bottom providing ventilation in any type weather.



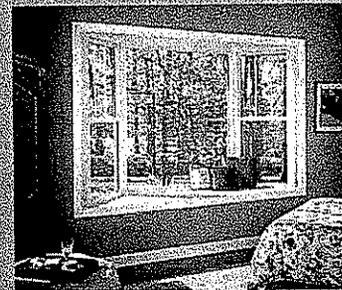
ROLL & TURN The Roll & turn window creates a large, easy to escape opening for quick exit in emergency situations.



CASEMENT WINDOWS Casements provide the most open ventilation area of any window. Simply crank them open for comforting ventilation and easy cleaning.

**ONE OPENING...
SO MANY CHOICES**

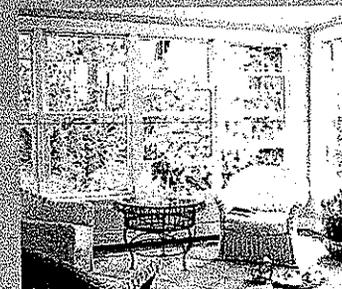
Your new windows can be similar in style and size to your existing windows, but they don't have to be identical. The choices available in the Heritage™ Collection can enhance your existing window openings without disturbing the integrity of your home's architectural styling.



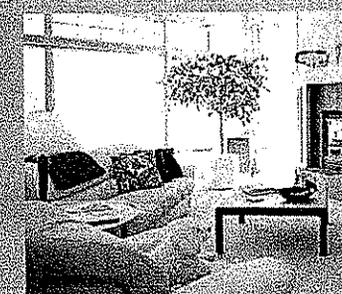
3-1/2' Lite Bay Window



2-1/2' Lite Bay Window



Windows Milled Together



Irregular Windows with Picture Windows

AGENDA ITEM
HISTORIC PRESERVATION REVIEW COMMISSION MEETING: OCTOBER 25, 2012
REGULAR AGENDA ITEMS

DATE : October 15, 2012

TO : Historic Preservation Review Commission

FROM : Amy Million, Principal Planner

SUBJECT : **DESIGN REVIEW REQUEST TO RE-ROOF TWO DOMES WITH COPPER AT ST. DOMINIC'S CHURCH, 475 EAST I STREET**

PROJECT : 12PLN-00046 Design Review
475 East I Street
APN: 0089-063-080

RECOMMENDATION:

Approve a design review request to replace the existing composition shingle roofing material on the two dome towers with copper on the landmark St. Dominic's Church at 475 East I Street, based on the findings and conditions of approval set forth in the draft resolution.

EXECUTIVE SUMMARY:

The applicant proposes to replace the existing composition shingle roof on the two dome towers with copper. The St. Dominic's Catholic Church is listed as a local landmark in the Downtown Historic Conversation Plan.

BUDGET INFORMATION:

There are no budget impacts associated with this project.

ENVIRONMENTAL ANALYSIS:

Staff has determined that this project is Categorically Exempt under Section 153331 of the State CEQA Guidelines, Historical Resource Rehabilitation. Class 31 applies to projects that are limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

BACKGROUND:

Applicant / Owner: Joseph Garcia / St. Dominic's Church
General Plan designation: Public*/ Quasi Public

Zoning designation:	Public & Semi Public
Existing / Proposed use:	Church
Adjacent zoning and uses:	
North:	RS, Residential
East:	RS and RM, Residential
South:	RS, Residential
West:	RS, Residential

The subject property lies outside of the Downtown Historic District on the north side of East I Street between East 4th and East 5th Streets. St. Dominic's has occupied the subject property since 1854. The subject building, constructed in 1890 replaced the original church. In 1990, with the City's adoption of the Downtown Historic Conservation Plan, St. Dominic's was officially recognized as a City Landmark.

SUMMARY:

In 2008, as part of the City's historic survey of the Downtown Historic District, Carol Roland prepared a Department of Park and Recreation (DPR) Form 523 A. According to the survey, St. Dominic's Church is one of the most important buildings in the City of Benicia. The church helped define Benicia's early years of establishment with its religious and educational history. Over the years, the church has had some alterations to the front façade including the addition of a front courtyard. Overall, the building retains its historic integrity and it was recommended that it maintained its status as a local landmark.

The existing roofing material on the two dome towers is a non-original brown composition shingle.

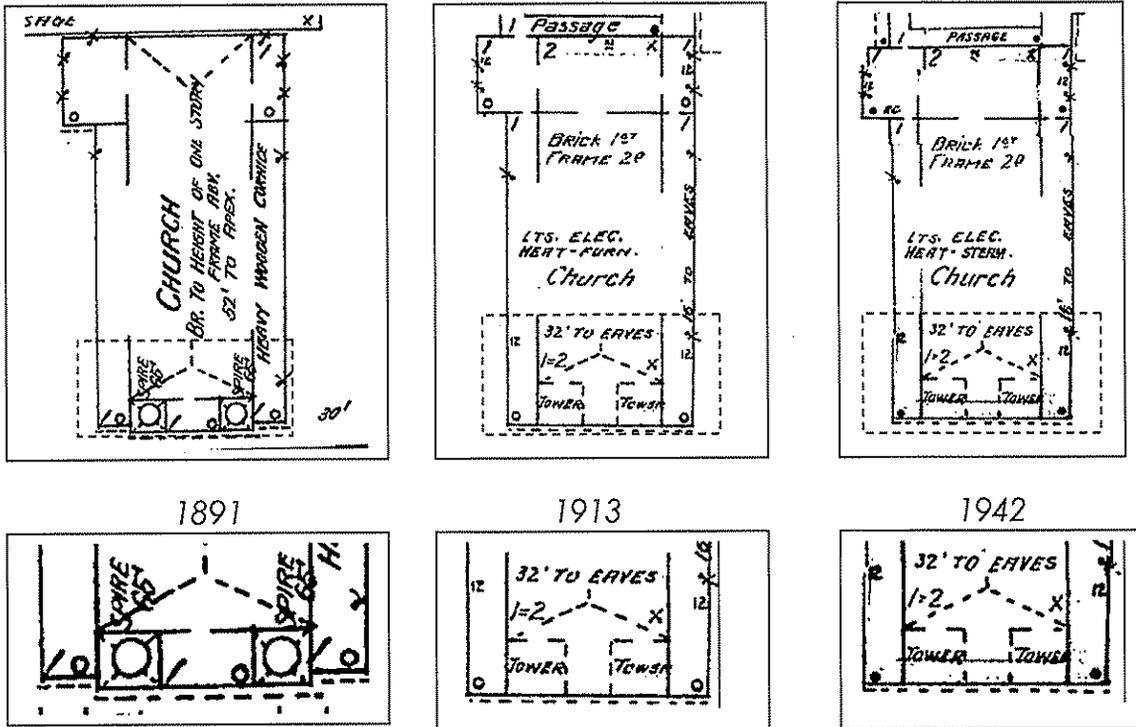
Photographs

Photographic research of the building's history is inconclusive on the original roofing material. Early photographs appear to show different roofing materials through the years including layers of material with horizontal ridges and others with a smooth finish. A color postcard circa 1912 shows a green colored roof, which may be a representation of patina copper (see attached Site Plan and Historical Photos). This smooth finish is consistent with other black and white photographs taken around the same time period.

Sanborn Maps

The Sanborn maps were originally created for assessing fire insurance liability in urbanized areas in the United States. However, they can be a useful tool in helping to determine the size, height and materials used in construction of the country's early buildings. A small area of Benicia was mapped by the Sanborn Fire Insurance Company and was mostly concentrated downtown. St. Dominic's Church is shown in the 1891, 1899, 1913 and 1942 maps. According to the Sanborn maps 1891-1913, the roof of the church was covered in a mixed of roofing

materials: shingles at the rear and a non-combustible covering of metal, slate, tile or asbestos shingles at the front. By 1942 the roofing material changed to a composition shingle. This is indicated (below) by the 'o' in the 1899-1913 maps at the front of the building and the 'x' near the rear of the building versus the solid circles in the building corners in the 1942 map.



Downtown Historic Conservation Plan

The Downtown Historic Conservation Plan provides Design Guidelines for all categories of designated historic residential buildings. The guidelines are intended to guide alterations and construction projects. Staff has determined that the proposed project is consistent with these guidelines.

Consistency with the Downtown Historic Conservation Plan			
Design Guidelines for Residential Building Types (Including Institutional Buildings)			
Policy 3	Integrity of Materials: Maintain the integrity of the original building materials		
	Guideline 3.4	Where necessary to re-roof, the original or similar materials, general compositions shingles, should be used.	The proposal is to remove the existing composition shingle roof and replace with a copper roof. While a composition shingle roof would have been an original material in many of the Downtown Historic District buildings, it would not have been an original material for the church. The roofing material was most likely a non-combustible covering of metal, slate or tile as shown on the Sanborn maps.

As mentioned above, the DHCP generally encourages composition shingles as a roofing material. The following guidelines are not applicable to the project; however they provide good guidance for the use of alternative roofing materials when appropriate. Policy 4 on Page 43 pertains to appropriate roofing materials for commercial buildings.

Downtown Historic Conservation Plan			
Design Guidelines for Residential Building Types (including Institutional Buildings)			
Policy 4	Roofing Materials: Roofing materials should be appropriate to the type, form and style of the building.		
			Discussion
	Guideline 4.2	Higher quality materials such as sheet metal or copper roofing or flat concrete or slate tiles may be appropriate in some cases. Architectural features such as towers, cupolas, or porticoes may be roofed in these materials. They may also be appropriate for projects in waterfront locations and will be considered on a case by case basis. Care should be taken that the roof form and/or materials does not become the dominant design element, however.	Research of the building's history is not definitive as to the original roofing material; however, it appears that based on information from the available Sanborn maps that the roof was metal, slate or tile. The proposed roofing material for the towers is copper, which would be considered appropriate for this architectural feature under this guideline. The church's towers are considered to be character-defining feature of the building's architecture and described in detail by Carol Roland in the 2007 adopted survey form. At the time of survey, they were covered in the non-original composition shingle. It is the form and design of the domes that establish their importance, and not the roofing material itself. A modification to the roofing material to copper would not dominate the building's architecture.

Secretary of the Interior's Guidelines for Rehabilitation "Standards"

Of the four sets of guidelines for historic properties, those pertaining to rehabilitation are the most applicable to the proposed project. The State Office of Historic Preservation defines rehabilitation as: "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values."

According to the Standards, *using the same kind of material is always the preferred option; [however] substitute material is acceptable if the form and design as well as the substitute material itself convey the visual appearance of the remaining parts of the feature and finish.* As mentioned, research of the building's history is not definitive as to the original roofing material. However, taking into consideration the Sanborn maps and early black and white photographs, the original or early roof may well have been copper.

The existing roof is consistent with the early photographs that clearly show the form and design of the domes. Six (6) triangular sections create the dome shape. The proposed copper roofing material would not degrade the form and design of this character-defining feature.

CONCLUSION:

In summary, staff finds the proposed roofing material complies with the Guidelines for Rehabilitation, as discussed in an attachment to this staff report and staff recommends the Historic Preservation Review Commission approve, by resolution, the applicant's proposal, based on the findings and conditions contained in the attached draft resolution.

FURTHER ACTION:

The decision of the Historic Preservation Review Commission may be appealed to the Planning Commission within ten (10) business days.

Attachments:

- Draft Resolution
- Analysis of the Project Compliance with the Secretary of the Interior's Standards for Rehabilitation
- DPR Form 523 A
- Site Plan and Historical Photos*

**If viewing online, these attachments are available to view in the Community Development Department or in the Benicia Public Library in the October 25, 2012 Historic Preservation Review Commission packet.*

DRAFT RESOLUTION

RESOLUTION NO. 12-

A RESOLUTION OF THE HISTORIC PRESERVATION REVIEW COMMISSION OF THE CITY OF BENICIA APPROVING A DESIGN REVIEW FOR THE REROOFING OF ST. DOMINIC'S CHURCH AT 475 EAST I STREET (12PLN-00046)

WHEREAS, On October 5, 2012, Joseph Garcia and St. Dominic's Church, requested design review approval to install a copper roofing material on the domes of St. Dominic's Church at 475 East I Street; and

WHEREAS, St. Dominic's Church is a locally designated historic structure and is listed as a landmark building in the Downtown Historic Conservation Plan; and

WHEREAS, the Historic Preservation Review Commission, at a regular meeting on October 25, 2012, conducted a public hearing and reviewed the proposed project.

NOW, THEREFORE, BE IT RESOLVED THAT the Historic Preservation Review Commission of the City of Benicia hereby finds that:

- a. The proposed project is Categorically Exempt under Section 15331 of the CEQA Guidelines. Class 31 allows projects limited to maintenance, repair, stabilization, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.
- b. The proposed project is consistent with the purpose of the Benicia Municipal Code title 17.108 Design Review.

BE IT FURTHER RESOLVED THAT the Historic Preservation Review Commission of the City of Benicia hereby approves the proposed project subject to the following conditions:

1. This approval shall expire two years from the date of approval, unless made permanent by the issuance of a building permit and the commencement of work that is diligently pursued to completion. Alternatively, the time period may be extended, by the Community Development Director, if the application for time extension is received prior to the end of the initial two year deadline and there has been no change in the City's development policies which affect the site, and there has been no change in the physical circumstances nor new information about the project site which would warrant reconsideration of the approval.
2. The plans submitted for the building permit and construction shall substantially comply with the sample board date stamped received October 5, 2012 except as modified by the following conditions. Any change from the this approval including substitution of

materials, shall be requested in writing and approved by the Community Development Director, or designee, prior to changes being made in the field.

3. All construction shall be consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.
4. The Historic Building Code shall be applied to the project at the discretion of the Community Development Department.
5. The project shall adhere to all applicable ordinances, standard plans, and specifications of the City of Benicia.
6. The applicant or permittee shall defend, indemnify, and hold harmless the City of Benicia or its agents, officers, and employees from any claim, action, or proceeding against the City of Benicia or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director's, Historic Preservation Review Commission or any other department, committee, or agency of the City concerning a development, variance, permit or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.

* * * * *

On motion of Commissioner _____, seconded by Commissioner _____, the above Resolution was adopted at a regular meeting of the Historic Preservation Review Commission on October 25, 2012, by the following vote:

Ayes:
Noes:
Absent:
Abstain

Toni Haughey
Historic Preservation Review Commission Chair

**ANALYSIS OF THE PROJECT COMPLIANCE WITH THE
SECRETARY OF THE INTERIOR'S STANDARDS FOR
REHABILITATION**

**Secretary of the Interior's Standards for Rehabilitation
Analysis of Proposed Project (12PLN-00046)
475 East I Street, Benicia, CA**

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values.

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, rehabilitation may be considered as a treatment.

The bolded text is the applicable Secretary of the Interior's Standards for Rehabilitation guidelines. The regular text is staff's response about how the particular guideline or policy relates to the proposed project.

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**

The property will continue its use as a church and does not require change to the character defining features to meet operational needs.

The proposed project meets this Standard.

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

The proposed new roofing material will replace a non-original composition roofing material. The two domes are considered to be character defining features. The proposed project will not change the size, shape or location of that feature. The removal of historic materials is not required as the existing material is non-historic.

The proposed project meets this Standard.

- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**

Research of the building's history is not definitive as to the original roofing material; however, it appears that based on information from the available

photographs and Sanborn maps the roof was metal, slate or tile. Given the uncertainty, the proposed copper roofing material is potentially a new material. However, the copper roof would not change the form and design of the existing towers and therefore does not create a false sense of historical development.

The proposed project meets this Standard.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The proposed project will replace an existing non-original roofing material (composition shingle). This roofing material is a standard utilitarian material that was most likely installed after the period of significance (1847-1940) and has not acquired historic significance in its own right.

The proposed project meets this Standard.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The proposed project does not remove a distinctive feature, finishes and construction techniques.

The proposed project meets this Standard.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

According to the applicant, during the course of removing the existing composition roof, original metal and wood framing was under the existing roofing. Upon removal, the wood framing was badly decayed and the metal subsequently disintegrated. The original roofing material is no longer present and therefore unable to be repaired.

The proposed project meets this Standard.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

No chemical or physical treatments are planned.

The proposed project meets this Standard.

- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**

No significant archeological resources are anticipated but mitigation measures will be undertaken if applicable.

The proposed project meets this Standard.

- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**

The proposed roofing project would not destroy historic materials that characterize the property. According to the applicant, during the course of removing the existing composition roof, original metal and wood framing was under the existing roofing. Upon removal, the wood framing was badly decayed and the metal subsequently disintegrated. The historic integrity of the towers are still intact in regard to form and design.

The project, as conditioned, meets this Standard.

- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

No new additions are proposed. The new roofing material will not impact the essential form or integrity of the roof. If the copper roof would need to be removed and replaced in the future, this in itself would not impact the essential form and integrity of the historic property.

The proposed project meets this Standard.

DPR FORM 523 A

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

*Resource Name or St. Dominic's Catholic Church

P1. Other Identifier:

*P2. Location: *a. County

b. Address: 475 East I Street

*c. City: Benicia Zip 94510

d. UTM: N/A

e. USGS Quad: Benicia T2N R3W MDM

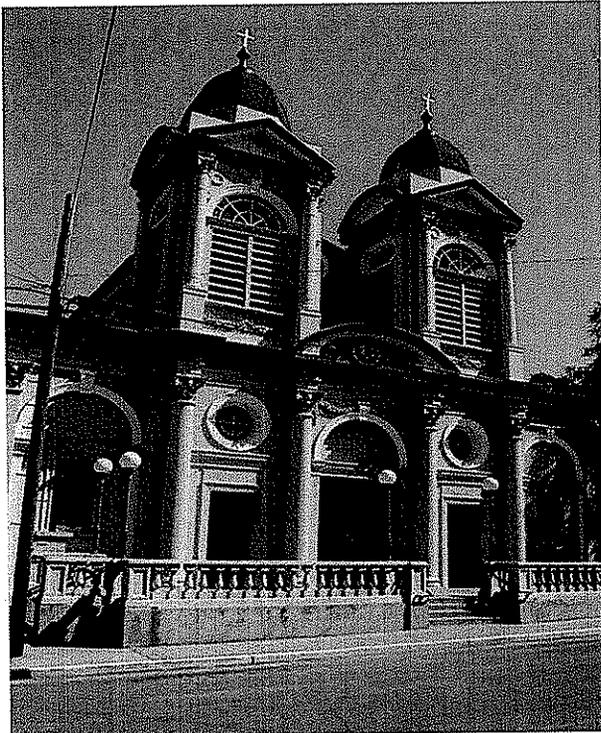
*f. Other Locational Data (APN #): 89-061-14

*P3a. Description

St Dominic's Church was constructed in the 1890s as part of a larger church and monastery complex which had been founded in Benicia in 1854. The present church replaced an earlier church building in the same location. The brick building is essentially rectangular in plan with a five-bay front. It is one-story with a two-story central nave surmounted by a front gable roof. The front of the church is dominated by two elaborate domed towers. The towers exhibit pedimented gables with engaged columns and pilasters. The belfrie openings are louvered. A large cross is mounted on the dome of each tower. The flat front roof exhibits a wide denticulated cornice. Bays are separated by engaged Corinthian columns. A large double entry door with side lights is centered on the front elevation, flanked by lesser doors on both sides. The central entry is surmounted by an arched pediment supported on Corinthian columns and enhanced with swags of a garland design. The flanking entries have circular windows located above the architraves. All entries are recessed. Deeply set casement windows are found in the outer front bays and flank the door arrangement.

*P3b. Resource Attributes: HP16

P5. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P4. Resources Present: ■ Building

Structure Object Site

District ■ Element of District

P5b. Description of Photo: Front
 façade, view northwest

*P6. Date Constructed/Age: 1890

Source: Brueggemann, Robert.

*Benicia Portrait of an Early California
 Town: An Architectural History*

Prehistoric ■ Historic Both

*P7. Owner and Address:

Catholic

*P8. Recorded by:

Carol Roland
 Roland-Nawi Associates
 4829 Crestwood Way
 Sacramento, CA 95822

*P9. Date Recorded: 11-20-05

*P10. Type of Survey: ■ Intensive

Reconnaissance Other

Describe Eligibility Evaluation

*P11. Report Citation: none

*Attachments: NONE Map
 Sheet Continuation Sheet ■ Building,
 Structure, and Object Record Linear
 Resource Record Archaeological
 Record District Record Milling
 Station Record Rock Art Record
 Artifact Record Photograph Record
 Other (List):

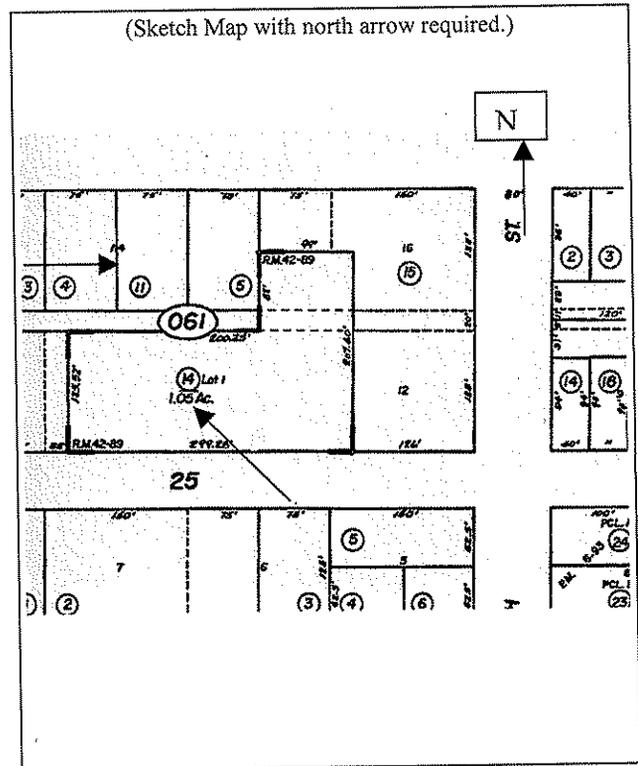
State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Remarks: N/A

B14. Evaluator: Carol Roland, Ph.D.

Roland-Nawi Associates: Preservation Consultants
 4829 Crestwood Way
 Sacramento, CA 95822

B 15. Date of Evaluation: 9-25-05



SITE PLAN AND HISTORICAL PHOTOS

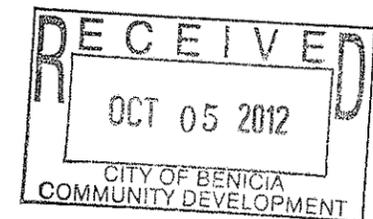
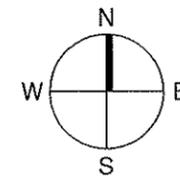
**If viewing online, these attachments are available to view in the Community Development Department or in the Benicia Public Library in the October 25, 2012 Historic Preservation Review Commission packet.*



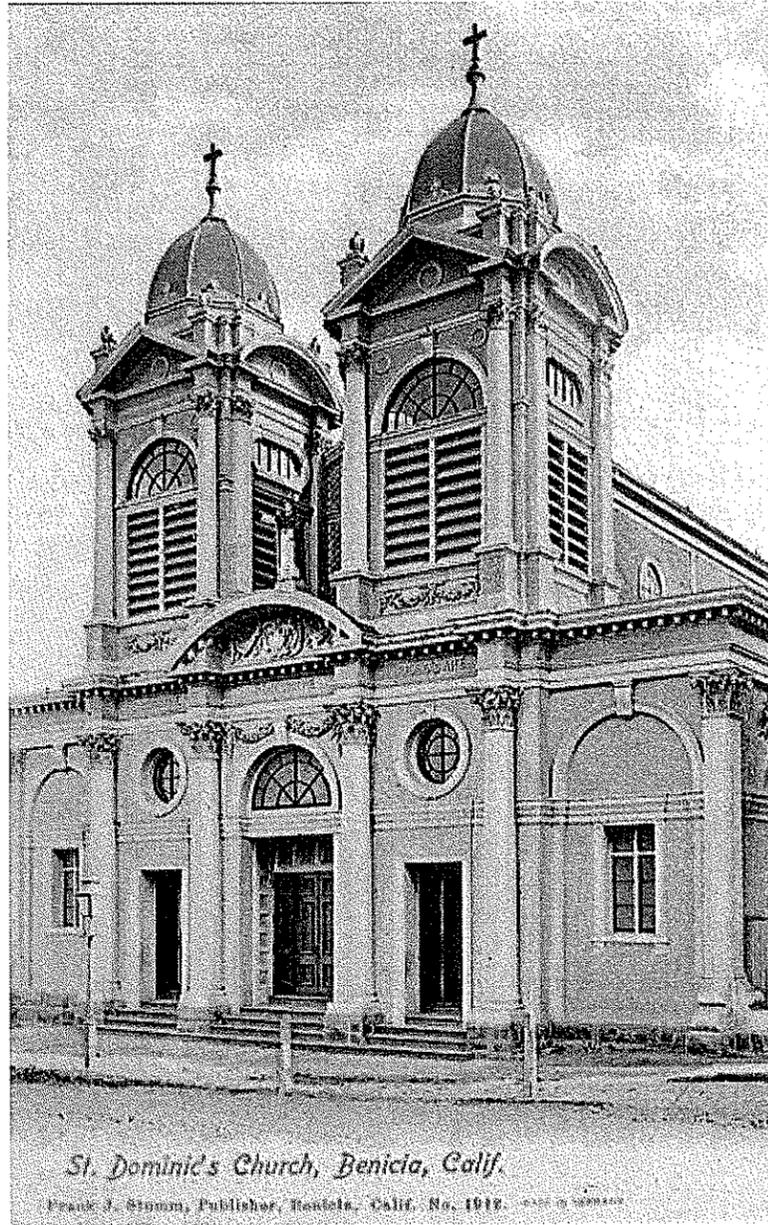
AREA OF REPAIRS

ST. DOMINICS CHURCH

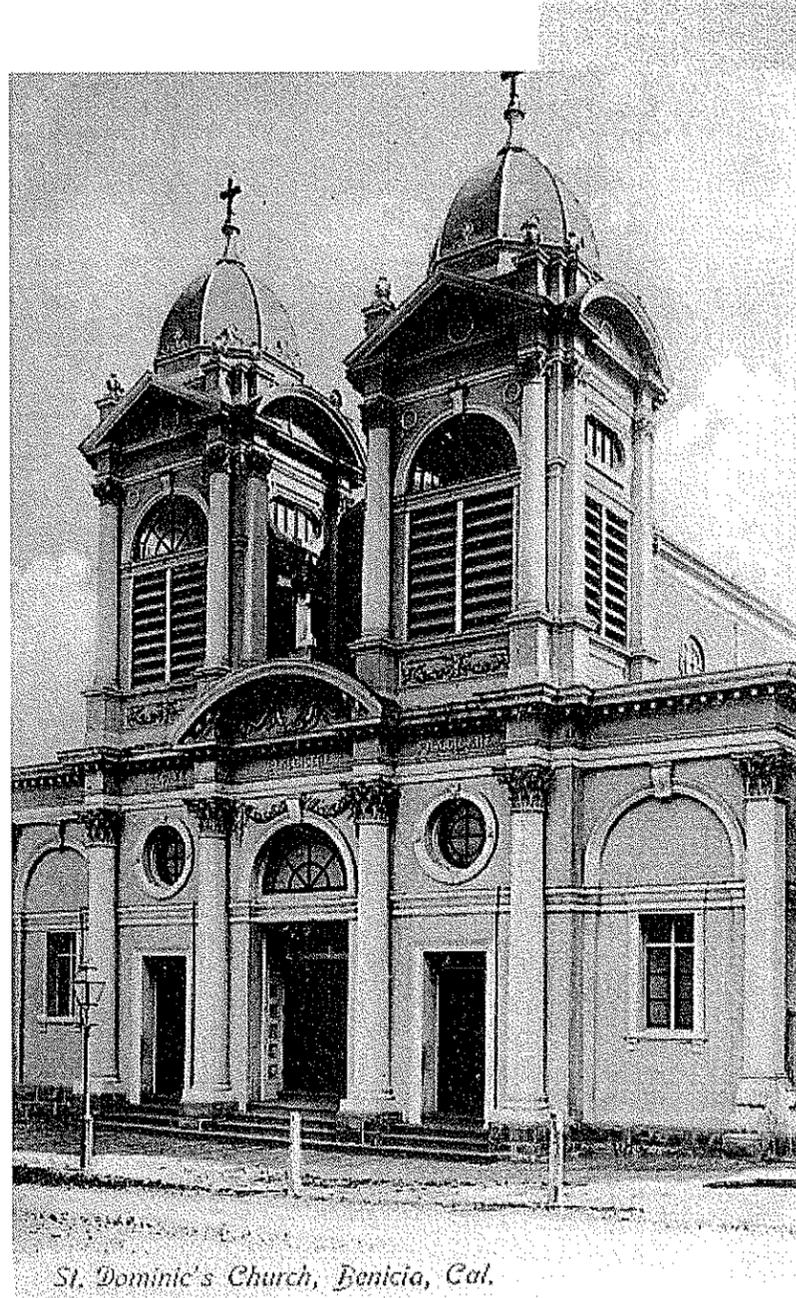
EXISTING SITE PLAN



**RICHARD
AVELAR
&
ASSOCIATES**
ARCHITECTS
318 HARRISON STREET
SUITE 103
OAKLAND, CA 94607
510-893-5501
FAX 510-893-5874



Circa 1912



Early 1900's



Circa 1933

ST. DOMINICS CHURCH

HISTORICAL PHOTOS

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510-893-5501
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EXISTING CONDITIONS WITH ASPHALT COMPOSITION ROOF SHINGLE



TOWER DOMES WITH PROPOSED COPPER ROOFING

ST. DOMINICS CHURCH

TOWER ROOF VISUAL SIMULATION

**RICHARD
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&
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AGENDA ITEM
HISTORIC PRESERVATION REVIEW COMMISSION MEETING: OCTOBER 25, 2012
REGULAR AGENDA ITEMS

DATE : October 15, 2012

TO : Historic Preservation Review Commission

FROM : Amy Million, Principal Planner

SUBJECT : **DESIGN REVIEW TO CONSTRUCT A NEW FOUNDATION WHICH WILL RAISE THE OVERALL HEIGHT OF THE STRUCTURE 1'-9" AND MOVE 2'-9" TO THE NORTHEAST AT 133 WEST E STREET**

PROJECT : 12PLN-00048 Design Review
133 West E Street
APN: 0089-173-090

RECOMMENDATION:

Approve design review request to raise and move the single-family residence at 133 West E Street, based on the findings, and subject to the conditions of approval set forth in the draft resolution and as discussed during the public hearing.

EXECUTIVE SUMMARY:

The applicant proposes to construct a new foundation which will raise the overall height of the structure 1'-9" and move is 2'-9" to the northeast. The building is listed as a contributing structure to the Downtown Historic District.

BUDGET INFORMATION:

There are no budget impacts associated with this project.

ENVIRONMENTAL ANALYSIS:

Staff has determined that this project is Categorical Exempt under Section 153331 of the State CEQA Guidelines, Historical Resource Rehabilitation. Class 31 applies to projects that are limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

BACKGROUND:

Applicant / Owner:	Harold and Maryann Diehl
General Plan designation:	Downtown Commercial
Zoning designation:	Neighborhood General-Open
Existing / Proposed use:	Single Family Residential
Adjacent zoning and uses:	
North:	Neighborhood General
East:	Town Core / Town Core-Open
South:	Town Core-Open
West:	Neighborhood General-Open

133 West E Street is a single-family residential building located on the north side of West E Street between First Street and the Carquinez Straight. The building is listed as a contributing building to the Downtown Historic District and subject to the Downtown Historic Conservation Plan. Pursuant to the Downtown Historic Conservation Plan, design review approval by the Historic Preservation Review Commission is required for exterior alterations to historic structures located within the Downtown Historic District. The building is located outside of the 100-foot band of San Francisco Bay Conservation and Development Commission (BCDC) jurisdiction and therefore BCDC approval is not required.

SUMMARY:

The applicant is requesting to construct a new foundation which will raise the overall height of the structure 1'-9" and move it 2'-9" to the northeast. The building's raised foundation is clad with wood lap siding. The proposed new portion of the façade will use the same siding to match. The siding will be painted a custom blend sage green to match the existing paint colors.

Downtown Mixed Use Master Plan (DMUMP)

The subject parcel is located within the Neighborhood General-Open (NG-O) zoning district. The building placement requirements (setbacks) are as follows:

Side setback: 4' on one side and 8' on the other
 Front setback: 20'

The building is currently sited 14'-9" from the front property line, 1'-9" from the western property line and 63'-11" from the eastern property line. The scope of work includes moving the building 2'-9" to the northeast of its current location. The proposed setbacks are 17'-6" from the front property line, 5'-9" from the western property line and 59'-11" from the eastern property line. The front setback may be reduced to meet the BTL (Build-to-Line) of the adjacent BTL is less than 20' from the property line. The block face is comprised of several different setbacks. The adjacent building to the west has a larger setback than the subject building. The nearest building to east is located on the corner of First and West E Street and is built to the property line. The proposed project

complies with the requirements of the DMUMP.

The existing building height is 25'-2". The NG-O district allows a 30' building height and 2.5 stories, so the proposed height increase of 1'-9" resulting in an overall height of 26'-11" will comply with the maximum building height.

Downtown Historic Conservation Plan (DHCP) Consistency

The subject property is located in the Downtown Historic District and therefore is subject to the policies and guidelines set forth in the DHCP. The Downtown Historic Conservation Plan provides Design Guidelines for all categories of designated historic residential buildings. The guidelines are intended to guide alterations and construction projects. Staff has determined that the proposed project is consistent with these guidelines.

Consistency with the Downtown Historic Conservation Plan			
Design Guidelines for Residential Building Types - Historic Buildings			
Policy 1	Design Integrity		
	Guideline 1.1	Additions or alterations which alter the height, bulk, or principal facade elements, features, or character of the building as viewed from the street are inappropriate	<i>The proposed addition will increase the height of the existing structure by 1'-9", for a total height of 26'-11", which is not a significant alteration.</i>
	Guideline 1.6	Raising up historic structures to allow space for additional ground floor improvements or development is generally inappropriate if it alters the street façade in a way that detracts from the original composition or changes the proportion of the façade.	<i>The structure is being raised only 1'-9" inches, and will not detract from the original composition.</i>
	Guideline 1.8	Other exceptions to raising historic structures should be considered on a case by case basis, consistent with guideline 1.6 (above). In general, new window openings should be limited...The architectural style, details and original materials of the building should be carried throughout.	<i>No new window openings are proposed. The proposed modification will continue the architectural style of the building, which is considered to Vernacular with a raise foundation.</i>
Policy 2	Façade Elements and Details		
	Guideline 2.1	Do not remove original architectural elements – cornices, moldings, trim, etc.	<i>The existing architectural elements are proposed to be retained. No replacements are necessary.</i>

		Replacements should be similar in character to the original.	
Policy 3	Integrity of Materials		
	Guideline 2.2	Maintain the proportions of existing door and window openings...	<i>The integrity of the existing materials will not be altered. Specifically, the proposal does not include the alteration of any existing doors or windows.</i>
Policy 4	Appropriate Materials, Colors and Finishes		
	Guideline 4.5	Paint colors should be appropriate to the style and design intent of the building. Salt Box examples are white, off-white or neutral base; contrasting window sash and/or trim	<i>The proposed paint colors will match the existing paint colors. They are neutral tones consistent with the building's Vernacular and 'Salt-Box' "like" architecture.</i>

Secretary of the Interior's Guidelines for Rehabilitation "Standards"

Of the four treatments for historic properties, those pertaining to rehabilitation are the most applicable to the proposed project. The State Office of Historic Preservation defines rehabilitation as: "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." Please refer to the consistency analysis attached to this staff report for further information.

CONCLUSION:

The proposed work will use the same siding as the existing structure. The proposed alteration meets the height, setback and lot coverage requirements of the Downtown Mixed Use Master Plan and is consistent with the Downtown Historic Conservation Plan Guidelines and the Secretary of the Interior Standards for Rehabilitation. Staff recommends the Historic Preservation Review Commission approve the design review request based on the findings and conditions of approval in the draft resolution.

FURTHER ACTION:

The Historic Preservation Review Commission's action will be final unless appealed to the Planning Commission within ten business days.

Attachments:

- Draft Resolution
- DPR FORM 523A/B

- Analysis of the Project's Compliance with the Secretary of the Interior's Standards for Rehabilitation
- Site plan and elevations*

**If viewing online, these attachments are available to view in the Community Development Department or in the Benicia Public Library in the October 25, 2012 Historic Preservation Review Commission packet*

DRAFT RESOLUTION

RESOLUTION NO. 12-

**A RESOLUTION OF THE HISTORIC PRESERVATION REVIEW COMMISSION
OF THE CITY OF BENICIA APPROVING THE DESIGN REVIEW APPLICATION FOR
133 WEST E STREET (12PLN-00048)**

WHEREAS, Harold and Maryann Diehl, property owners, requested Design Review approval to construct a new foundation, raise the building 1'-9" and move it 2'-9" to the northeast at 133 West E Street; and

WHEREAS, the existing single-family residential building is listed as a contributing building to the Downtown Historic Overlay District; and

WHEREAS, the Historic Preservation Review Commission at a regular meeting on October 25, 2012 conducted a public hearing and reviewed the proposed project.

NOW, THEREFORE, BE IT RESOLVED THAT the Historic Preservation Review Commission of the City of Benicia hereby approves the application at 133 West E Street; and

BE IT FURTHER RESOLVED THAT the Historic Preservation Review Commission makes the following findings:

- a) This project is Categorically Exempt under Section 153331 of the State CEQA Guidelines, Historical Resource Rehabilitation. Class 31 applies to projects that are limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.
- b) The project will be consistent with the Downtown Historic Conservation Plan policies and design guidelines if the conditions of approval are adhered to.
- c) The design of the project is consistent with the purposes of the Downtown Mixed Use Master Plan.

BE IT FURTHER RESOLVED THAT the Benicia Historic Preservation Review Commission hereby approves the proposed project subject to the following conditions:

1. This approval shall expire two years from the date of approval, unless made permanent by the issuance of a building permit and the commencement of work that is diligently pursued to completion. Alternatively, the time period may be extended, by the Community Development Director, if the application for time extension is received prior to the end of the initial two year deadline and there has been no change in the City's development policies which affect

the site, and there has been no change in the physical circumstances nor new information about the project site which would warrant reconsideration of the approval.

2. Any alteration, including substitution of materials, shall be requested in writing for consideration of approval by the Community Development Director prior to changes being made in the field.
3. All construction shall be consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.
4. The Historic Building Code shall be applied to the project at the discretion of the Community Development Department.
5. The project shall adhere to all applicable ordinances, standard plans, and specifications of the City of Benicia.
6. The applicant or permittee shall defend, indemnify, and hold harmless the City of Benicia or its agents, officers, and employees from any claim, action, or proceeding against the City of Benicia or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Historic Preservation Review Commission, Planning Commission, City Council, Public Works & Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.

* * * * *

On motion of Commissioner _____, seconded by Commissioner _____, the above Resolution was adopted by the Historic Preservation Review Commission of the City of Benicia at a regular meeting of said Commission held on October 25, 2012 by the following vote:

Ayes:
Noes:
Absent:
Abstain:

Toni Haughey
Historic Preservation Review Commission Chair

DPR FORM 523A

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

*Resource Name or #: 133 West E Street

P1. Other Identifier:

*P2. .Location: *a. County Solano

b. Address: 133 West E Street

*c. City: Benicia Zip 94510

d. UTM: N/A

e. USGS Quad: Benicia T2N R3W MDM

*f. Other Locational Data (APN #): 89-173-09

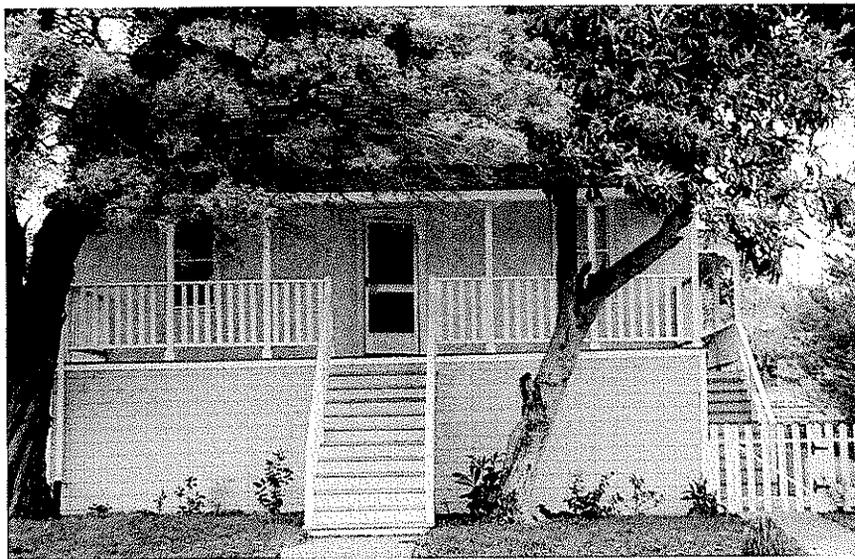
*P3a. Description:

This is a rectangular plan residence with a rear shed roof addition. The house is built in the Vernacular Style of a hall and parlor or "salt-box" house. The house is one and one-half story and rests on a high foundation. The roof is side gabled and of moderate pitch with the extended rear slope which gives this type of house its name. Rafters are enclosed and both eaves and gables have minimal overhangs. A full-length porch spans the front façade. It is covered by a shed roof which is supported on plain posts. The porch is enclosed by an open rail and open rail balustrades flank the high wooden stair that provides access to the centrally located entry door. Fenestration consists of narrow one-over-one double hung windows in wooden casements. On the east side of the house there is a narrow flat roofed side porch which has a narrow stair opening to the south. This porch roof is supported on plain posts with bracketed tops. Cladding is a replacement shingle and the raised basement is clad with lap siding. The house has a small setback from the sidewalk and a large side yard to the east which is enclosed with a picket fence.

*P3b. Resource Attributes: HP2

*P4. Resources Present: Building Structure Object Site District Element of District

P5. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo:
 Front façade, view north

*P6. Date Constructed/Age:
 1860

Prehistoric Historic

Both

*P7. Owner and Address:
 Harold/Maryanne Diehl
 2476 Heather Dr.
 Fairfield, CA 94533

*P8. Recorded by:
 Carol Roland
 Roland-Nawi Associates
 4829 Crestwood Way
 Sacramento, CA 95822

*P9. Date Recorded: 11-20-04

*P10. Type of Survey: Intensive
 Reconnaissance Other

Describe Eligibility

Evaluation

*P11. Report Citation: none

*Attachments: NONE

Map Sheet Continuation Sheet

Building, Structure, and Object Record Linear Resource Record Archaeological Record District Record
 Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Identifier: 133 West E Street

*NRHP Status Code: 3D

B1. Historic Name: N/A

B2. Common Name: none

B3. Original Use: Residential

B4. Present Use: Residential

***B5. Architectural Style:** Vernacular Hall and Parlor or Saltbox

***B6. Construction History:** The principal house was constructed circa 1860s, with a shed rear addition of unknown date. The side porch also is probably a later addition. A house of the same footprint is found on the 1886 Sanborn map.

***B7. Moved?** No Yes Unknown **Date:** N/A **Original Location:** same

***B8. Related Features:**

B9a. Architect: unknown

B9b. Builder: unknown

***B10. Significance: Theme:** Benicia Downtown District **Period of Significance:** 1847-1940
Property Type: Single Family **Applicable Criteria:** A / C

Based on its Vernacular Style and similarity to other early houses in Benicia, this house probably dates from the 1860s or early 1870s. It is a good example of the simple rectangular form that characterized these houses. Of particular note are the full length porch, raised foundation, small symmetrically placed double hung windows, and the distinctive roof line. The rear shed was probably added in the period of significance and is common to this type of house. The house retains its integrity with the exception of the replacement of the cladding material. It has been listed as a contributor to the Downtown Benicia Historic District and retains the elements that accounted for its listing.

B11. Additional Resource Attributes: N/A

B12. References: McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred Knopf (1986); Bruegmann, Robert. *Benicia Portrait of an Early California Town: An Architectural History* (San Francisco: 101 Productions (1980); Woodbridge, Sally and Cannon Design Group. *Benicia, California: Downtown Historic Conservation Plan*. City of Benicia, 1990; Sanborn Map Benicia, CA. 1886; 1986 Benicia Historic Inventory form..

**ANALYSIS OF THE PROJECT'S COMPLIANCE WITH
THE SECRETARY OF THE INTERIOR STANDARDS FOR
REHABILITATION**

**Secretary of Interior Standards for Rehabilitation
Analysis of Proposed Project (12PLN-00048)
133 West E Street, Benicia, CA**

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, rehabilitation may be considered as a treatment.

The bolded text is the applicable Secretary of Interior Standards for Rehabilitation guidelines. The regular text is staff's response about how the particular guideline or policy relates to the proposed project.

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**

This has historically been a single-family residence, which the applicant proposes to continue.

The proposed project meets this Standard.

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.**

The historic character will be retained and preserved. The applicant proposes to retain the character defining features of this structure, which include a full-length porch, high foundation, low roofline and narrow double hung windows. The project will raise the existing high foundation by 1'-9", which will not alter the character of the front façade.

The proposed project meets this Standard.

- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.** This project does not involve adding conjectural features or elements from other historic properties. The minor

change to the building's height will not create a false sense of historical development, as the building already sits on a high foundation.

The proposed project meets this Standard.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

This project does not impact any changes to the property, which may have acquired historic significance in their own right. The change is to the height and location only.

The proposed project meets this Standard.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The applicants propose to have the new siding and paint colors match the existing siding and paint colors.

The proposed project meets this Standard.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Implementation of this project does not anticipate the need to remove any historic features. However, as part of the draft conditions of approval, the applicant is required to complete the project consistent with these guidelines, including if any historic features are deteriorating, they will be repairs rather than replaced.

The proposed project meets this Standard.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

This standard does not apply to this project.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

This standard does not apply to this project, as there are no known archeological resources on the site.

The proposed project meets this Standard.

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

Staff believes that the proposed raising of the structure by 1'-9" inches will not destroy the historic materials, features, and spatial relationships that characterize the property. The new work is minimal and will be compatible with the existing materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project meets this Standard.

- 10. New additions and adjacent or related new construction will be undertaken in a such manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

This standard does not apply to this project.

SITE PLAN AND ELEVATIONS

**If viewing online, these attachments are available to view in the Community Development Department or in the Benicia Public Library in the October 25, 2012 Historic Preservation Review Commission packet*

General Notes

General Notes

Building shall comply with 2010 CBC, 2010 CMC, 2010 CPC, 2010 CEC, 2010 California Referenced Standards, 2010 California Energy Code and City of Benicia Municipal Code and any other governing regulations. Codes and Regulations shall be considered an essential part of these Specifications and, in the absence of definite requirements herein, the provisions of said Codes and Regulations shall be observed by the Contractor.

Workmanship: All shop and field work shall be performed by mechanics skilled and experienced in the fabrication and installation of the work involved. All work in this project shall be done in accordance with the best practices of the various trades involved and in strict accordance with the Contract Documents. All work shall be erected and installed plumb, level, square, true, and in proper alignment and relationship to the work of other trades. All finish work shall be free of defects.

Manufacturer's recommendations: Unless otherwise noted, all manufactured materials, products, processes, equipment, fixtures or the like shall be installed, applied, and/or utilized in accordance with the manufacturer's specifications, instructions, and/or directions.

Verify dimensions: Contractor shall verify all on site dimensions and conditions prior to starting work. Consult architect regarding significant discrepancies.

Concrete shall be 2500 psi unless noted otherwise.

Concrete slabs shall be 5" thick with #4 bar at 18" o.c. each way at center of slab (unless otherwise shown on drawings)
Slab rests on 4" class 2 gravel on compacted soil.
Clear distance of reinforcing bars shall be as follows:

Wall surface: 1-1/2"
Formed surfaces in contact with earth: 2"
Unformed surfaces in contact with earth: 3" Lap all splices 40 bar diameters in concrete.

Reinforcing steel shall conform to ASTM 615 and shall be deformed bars, grade 60.

Lumber shall be as follows (unless otherwise noted on drawings):

Roof, floor and ceiling joists: Douglas fir No. 2 or better.
Studs: Douglas fir Stud grade.
Footing, beams and girders: Douglas fir No. 1.
All wood in contact with concrete: Pressure treated fir.
Microlam, Parallam products shall be by Trusjoist/McMillan or equal (okay to substitute CFI or LFI) and installed per manufacturer's recommendations.
Plywood sheathing shall be as follows (unless otherwise noted on drawings):
Floors: At 16" O.C. framing provide 3/4" CDX or OSB Tongue & Groove plywood glued and nailed to joists. Glue shall be continuous 1/4" bead of heavy duty construction adhesive designed for this use. Nailing shall be 8d at 6" o.c. edges, 12" o.c. field. (At framing at 24" O.C. provide 1-1/8" sheathing with 10d nails at 6" O.C. at edges, 12" O.C. in the field.)
Roof: 1/2" OSB with radiant barrier with H-clips at unsupported butt joints. (LP TechShield® or equal) Stagger rows. Nail with 8d at 6" o.c. edges, 12" o.c. field.
Shear walls: 1/2" CDX struct 1 nailed as shown on drawings. Nail heads shall not pierce plywood lamination.
Pressure treated lumber shall receive galvanized or stainless steel fasteners. (Nails shall be hot dipped galvanized.)

Framing Wall framing shall be framed with 2x4 studs min. at 16" o.c. with double top plate and single bottom plate, unless otherwise noted. Top plate lap splice shall be 48" minimum. Lap top plates at corners and wall intersections. Provide firestops as required by C.B.C. Provide double trimmers at all load bearing openings 4'-0" or wider.
Nail per table fastening schedule 2304.9.1 C.B.C.

Provide fire blocking and draft stopping which shall be installed in locations to cut off concealed vertical and horizontal draft openings to form an effective barrier between floors, between a top story and an attic space, and shall subdivide attic spaces, concealed roof spaces and floor-ceiling assemblies.

Holes bored in joists shall not be within 2 inches of the top or bottom of the joist and shall not exceed one third the depth of the joist.

If glu-lam beams are used, present glu-lam certificates to inspector.

Joists under and parallel to all bearing partitions shall be doubled.

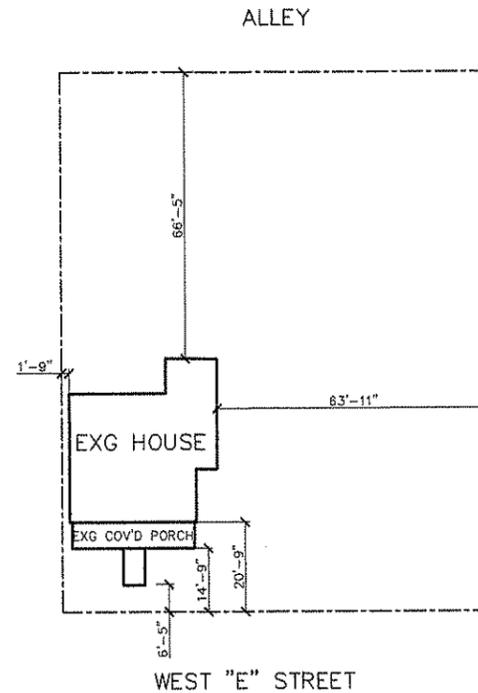
Where new walls are added at existing concrete slab floor use pressure treated base plate and 5/8" wedge anchors (Tru-bolt by Red Head, ICBO report ER-5660). Place bolts at 48" o.c. unless shown otherwise on Foundation Plan. Bolts shall penetrate 2 1/2" into existing concrete in 5/8" hole. Use 3" x 3" x 1/4" square washer.

LVL beams Laminated veneer lumber shall be by Trus-Joist, or equal. Beam widths of 3 1/2" or 5 1/4" may be created by stitch nailing 1 3/4" beams together with 16d 2" from top and bottom at 12" o.c.

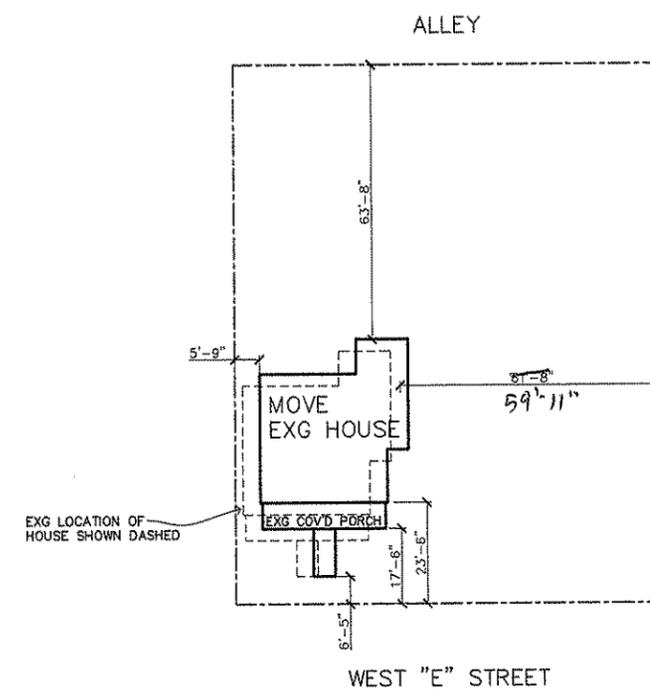
Railing:

Guardrail shall have 1 1/4" pickets spaced equally at approx 5" o.c. (so that 4" sphere cannot pass through.) Top rail shall be minimum 42" ht with (3) #12 screws at each end minimum 1 1/2" into solid support. Intermediate rails shall be anchored to adequately support 25 lbs per lineal foot at right angle to the top rail.

Handrail shall be 1 1/4" to 2" across. Top of rail shall be 34" above stair nosings (if handrail is at wall. 36" if handrail is also serving as guardrail) and be supported at 4' o.c. into solid framing or newel post and shall be sufficient to support 200 lb force per CBC table 16-B.



1" = 20'
SITE PLAN - EXISTING



1" = 20'
SITE PLAN

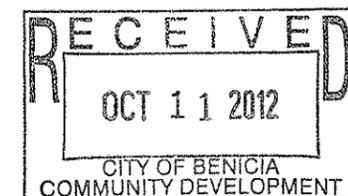
PROJECT INFO

PROJECT DESCRIPTION:
LIFT HOUSE 1'-9" AND MOVE HOUSE 2'-9" TO NORTH AND 2'-3" TO EAST. ADD CONCRETE FOUNDATION. CREATE LEGAL HT UNCONDITIONED LOWER LEVEL.

OCCUPANCY GROUP: R-3

CONST TYPE: V- NO HR

INDEX OF DRAWINGS	
1	SITE PLAN NOTES
2	FOUNDATION PLAN DETAILS
3	SECTIONS SHEAR SCHED
4	FRONT ELEVATIONS



DIEHL RESIDENCE

Steven McKee - Architect

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975 West K Street
Benicia CA 94510

Revisions:

Date: 10/11/12

ADDITION & REMODEL

DIEHL RESIDENCE

133 WEST 'E' STREET

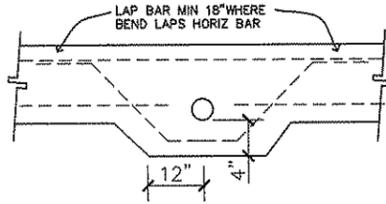
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OF 4

NOTES

SITE PLAN

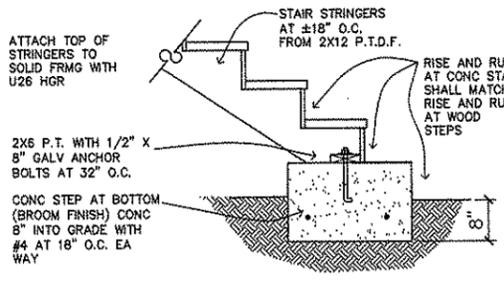


SEE FOUNDATION DETAIL FOR MORE NOTES

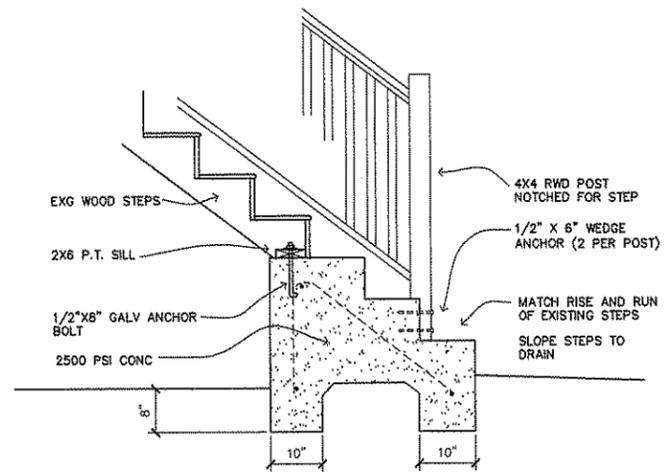
DEEPEEN FTG AS NEEDED TO MAINTAIN MIN 6" CONCRETE UNDER SLEEVE (RUN HORIZ BAR 3" FROM BOT)

ABS OR PVC PIPE SLEEVE SET IN CONCRETE (MIN 1" WIDER DIAMETER THAN PIPE THAT IS TO PENETRATE CONCRETE)

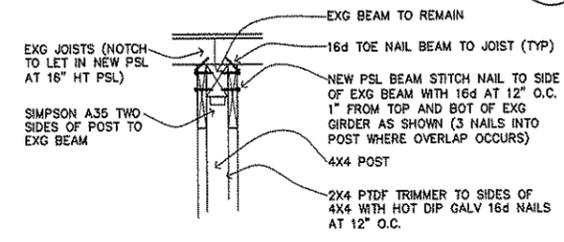
10
2 PIPE THROUGH FTG



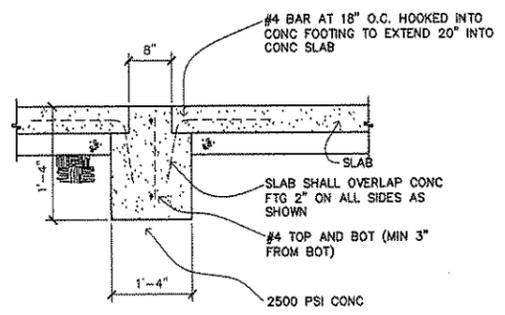
8
2 FOOTING AT REMODELED STAIRS (ALTERNATE WITH REFRAMED STAIRS)



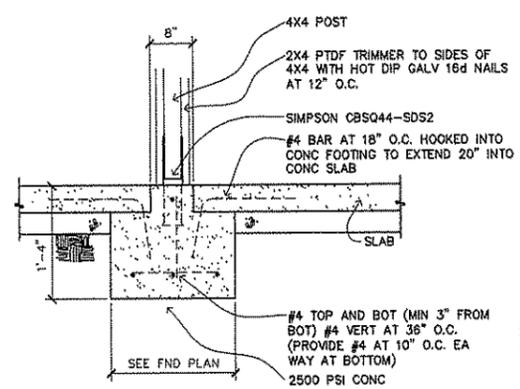
7
2 FOOTING AT REMODELED STAIRS (ALTERNATE WITH EXG STAIR FRAMING)



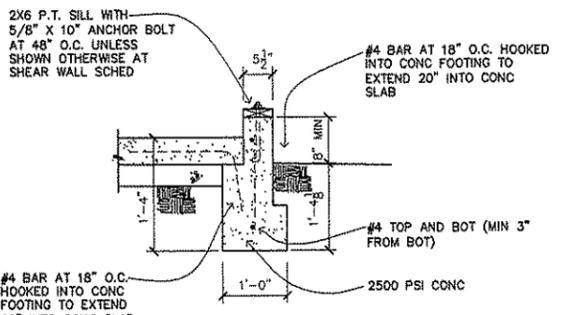
5
2 PSL BEAMS ADDED TO EXISTING GIRDER



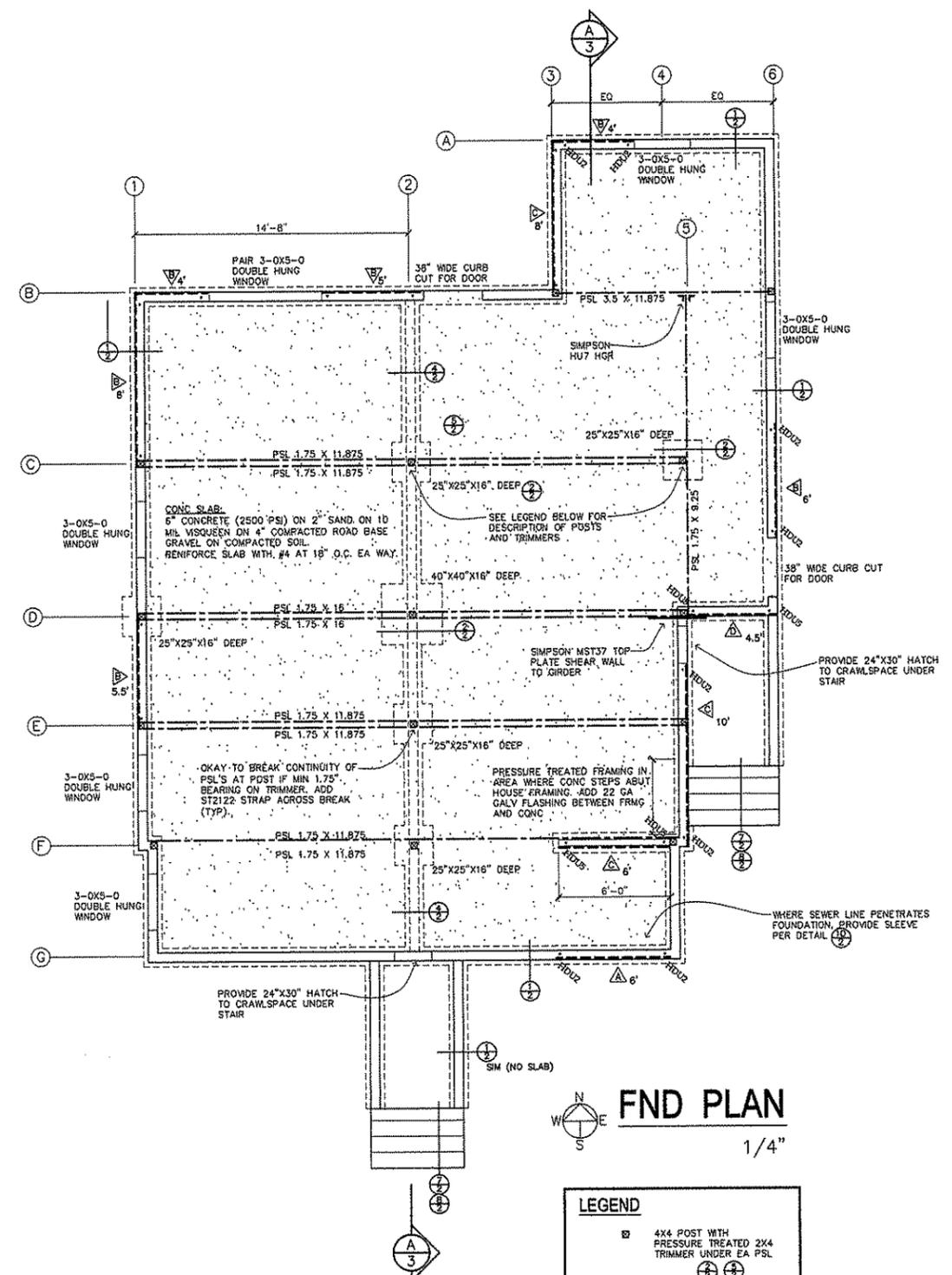
4
2 FOOTING AT CENTER OF SLAB



2
2 FOOTING AT POSTS



1
2 EDGE FOOTING



FND PLAN
1/4"

LEGEND	
	4X4 POST WITH PRESSURE TREATED 2X4 TRIMMER UNDER EA PSL
	SHEAR WALL WITH SIMPSON HD HOLD-DOWN WITH S3816 STAB-BOLT (SEE SHEAR WALL SCHEDULE FOR ALL CONNECTIONS)

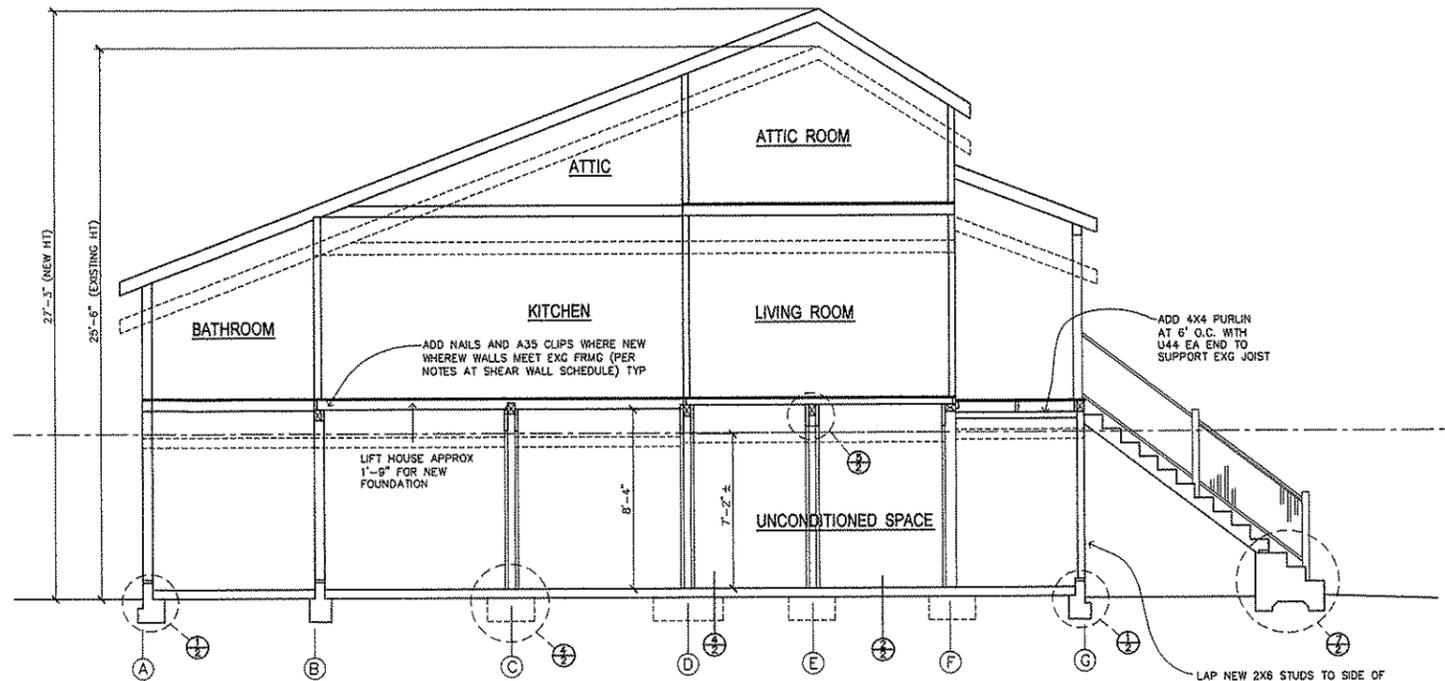
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Date: 10/11/12

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DIEHL RESIDENCE
133 WEST 'E' STREET

Sheet: **2** OF 4
FOUNDATION PLAN



SECTION
A
3

1/4"

SHEAR WALL SCHEDULE

Symbol	Sheathing Edge Nail	Base Plate Nailing	5/8" Sill Bolt Spacing	Connection at top plate to rim joist or frieze block (See note 13)	Shear Capac.
A	1/2" plwd 8d @ 6" o.c.	6" o.c.	52" max. o.c.	16d tn @ 4" o.c., or Simp. A 35 @ 18" o.c.	280
B	1/2" plwd 8d @ 4" o.c. 3x studs/blocking @ plwd. joints; 3x sills	4" o.c.	40" max. o.c.	Simp. A35 @ 9" o.c.	350
C	1/2" plwd. 8d @ 3" o.c. 3x studs/blocking @ plwd. joints	3" o.c.	14" max. o.c. (see note 11.)	Simp. A35 @ 9" o.c.	490
D	1/2" plwd 8d @ 2" o.c. 3x studs/blocking @ plwd. joints; 3x sills	2-1/2" o.c. Staggered	24" max. o.c.	Simp. LTP4 @ 10" o.c.	840

- Notes:
- Plywood shear panels shall be C-DX min. Unless Noted Otherwise, with all edges blocked.
 - All nails shall be common or (hot-dipped or tumbled) galv. box nails, U.N.O.
 - All base plate nails are 16d common nails.
 - Sill bolts shall be 5/8" diameter x 12" min. long, embedded 7" in concrete. Use 3" X 3" X 1/4" square washers.
 - Plywood sheathing shall be nailed directly to studs. Plywood joint and sill plate nailing shall be staggered.
 - Plywood field nailing is @ 12" o.c.
 - Pre-drill nail holes for 16d @ 4" o.c. or less.
 - All nails shall have a minimum penetration per 2007 CBC.
 - When no tie-down is indicated on the plans, corner studs shall be nailed to each other with 16d @ 6" o.c.
 - Where no shear walls are indicated, all framing nailing shall conform to 2007 CBC.
 - The anchor bolt spacing may be increased to 32" o.c. for "C" shear walls if 3x sill plate is used.
 - Posts with hold-downs shall be placed as close to ends of shear wall as possible. Nail plywood to post with sheathing edge nailing spacing. King studs of windows and doors at edges of shear walls shall receive edge nailing.
 - All top plates (not just plates above shear walls) shall be connected to eave blocks at roof with minimum A-35 clips at 24" o.c. (4 nails each side.)
 - Provide anchor bolt within 7 diameters of hold-down bolt holes.

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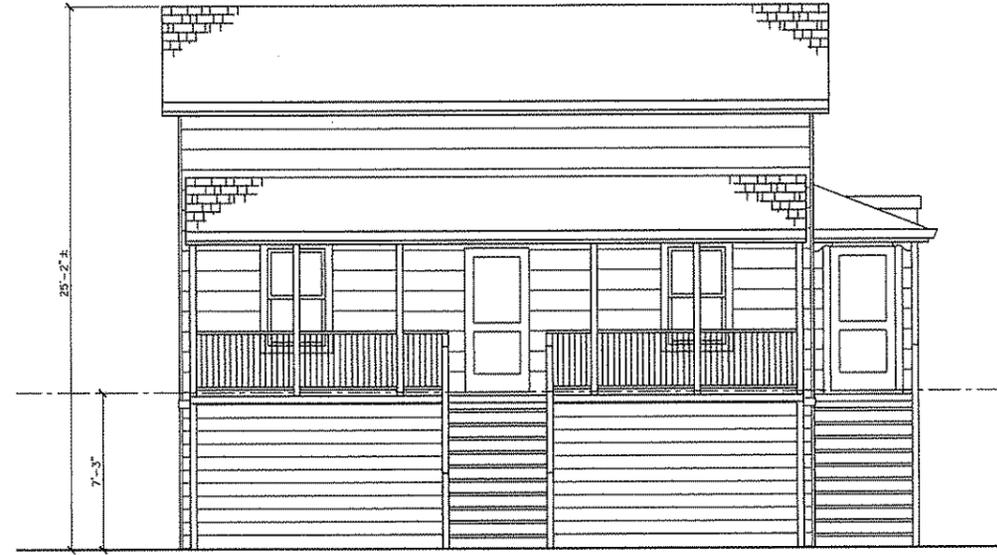
DIEHL RESIDENCE

133 WEST "F" STREET

Sheet: **3**

OF 4

SECTION



EXISTING FRONT ELEVATION

1/4"



PROPOSED FRONT ELEVATION

1/4"

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Bericia CA 94510

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133 WEST "E" STREET

Sheet

4

OF 4

ELEVATIONS