

Introduction

The following chapter organizes form-based design standards for the LAMUSP project area. These standards seek to provide a regulatory framework for the implementation of the vision plan as it has been described in Chapter 2. The Code reflects a synthesis of input from interested community members and participants in the public charrette process and the findings and recommendations of relevant analyses prepared by the Specific Plan project team, including an analysis of present and future market conditions for the project area (Additional information on market analysis can be found in Appendix D). The Plan seeks to promote continued reinvestment in the area that can foster the renovation of buildings and landscapes of recognized historic merit.

The Form-Based Code is organized into four primary sections:

The Building Form Standards (Section 3.1) allocate plan zones and their corresponding land uses, buildable areas, required frontage conditions, and allowed building types for the different locations in the project area. This information is designated and organized on two primary regulating plans: The Regulating Zones Plan (page 3.1-4) and the Historic Guidelines Overlay Plan (page 3.1-5).

The Architectural Standards (Section 3.2) designate allowable building types for each plan zone and provide regulations for the design of their massing, composition, exterior elements, building grounds, and materials and colors.

The Open Space Standards (Section 3.3) designate the primary required improvements to existing open spaces and their required size, allowable uses, and amenities, as well as standards for new open spaces and pedestrian paths that shall be provided

in future development in the project area. This information is designated and organized on the Open Space Plan (page 3.3-1).

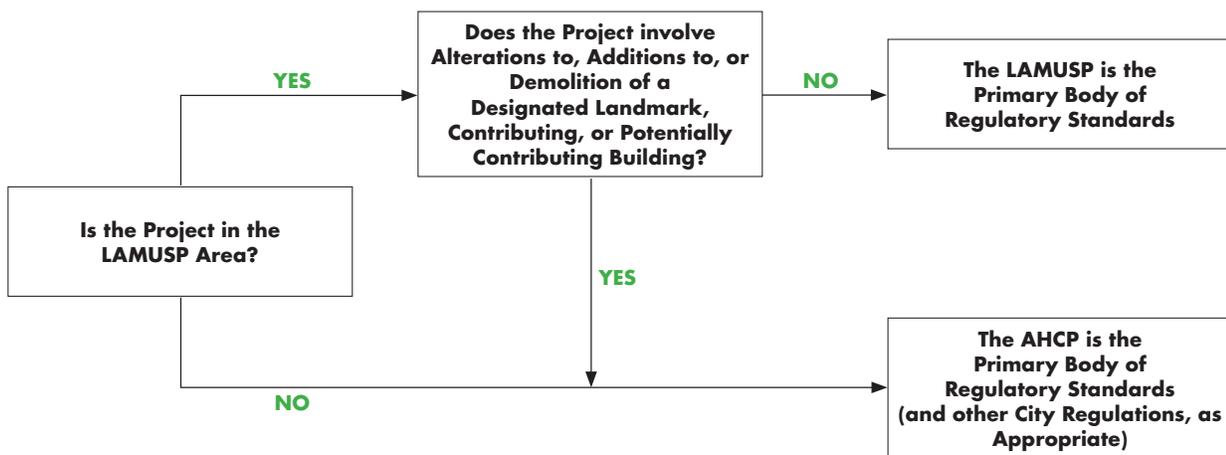
Street and Circulation Standards (Section 3.4) designate standards for the improvement of existing streets, pedestrian paths, and stairs, as well as standards for new streets and pedestrian paths that shall be provided in future development in the project area. This information is designated and organized on the Streets and Circulation Plan (page 3.4-1).

Applicability

Because this Form-Based Code provides requirements for development and land uses appropriate and specific to the LAMUSP project area, this Code will be the primary body of standards considered by the City in the review and approval of new development within the area it covers, and it specifically supersedes and replaces the City Zoning Ordinance provisions regarding zoning districts, allowable land uses, permit requirements for allowable land uses (i.e. permitted or conditional uses), and site development standards for the project area.

This Specific Plan and Form-Based Code are also intended to fulfill the goals, policies, and guidelines of the Arsenal Historic Conservation Plan as they are specific to the 50-acre LAMUSP project area. The content of the Conservation Plan, in particular Chapters 4, 5, and 6, has been carefully reviewed and incorporated into this Specific Plan as applicable. The concept of “Subdistricts” as described in Chapter 6 of the Conservation Plan is reflected in the formation of the Regulating Zones and their corresponding regulations for land use, building form, and landscape (See Appendix C for a thorough consistency analysis between the Arsenal Historic Conservation Plan and the LAMUSP).

The Arsenal Historic Conservation Plan will continue to be the primary review document for the remaining portions of the Arsenal Historic District not covered by this specific plan as well as for any alterations or additions to existing historic buildings. A brief description of the Specific Plan’s applicability is as follows:



Development and land uses that were lawfully established within the Plan Area as of the effective date of this Plan are affected as follows:

- The Arsenal Historic District, and alterations and additions to historic buildings and landscapes in the project area will continue to be governed by the Secretary of Interior's Standards for the Treatment of Historic Properties.
- Development or land use that does not comply with the requirements of this Code may continue to operate and may be sold or otherwise transferred in compliance with the City's regulations for nonconformities.
- Development or land use that was legal and nonconforming with respect to the requirements of the City's codes that applied before the adoption of this Specific Plan and that does not comply with the requirements of this Code may continue to operate and may be sold or otherwise transferred in compliance with City regulations for nonconformities in the Municipal Code.

The standards of the Benicia Zoning Ordinance that address regulatory topics not covered by this Form-Based Code remain applicable to development within the LAMUSP project area. If a conflict occurs between a requirement of this Form-Based Code and the Benicia Zoning Ordinance or other regulations of the City, the requirements of this Code shall control. If a conflict occurs between requirements of this Development Code, the most restrictive requirement shall control.

If a conflict occurs between a provision of the Uniform Building Code and a requirement of this Development Code, the Building Code shall control. The Building Official may, in the case of buildings of recognized historical merit, invoke the provisions of the State of California Historic Building Code.

Administration

The Benicia City Council, the Benicia Planning Commission, the Historic Preservation Review Commission, the Community Development Director, the Planning Department, the Public Works Department, and the TPBS Committee shall administer this Form-Based Code in the same manner as the provisions of the City's Municipal Code. These are individually and collectively referred to in the Code as the "Review Authority."

The Form-Based Code and its corresponding regulations used a combination of mapping resources and field measurements and documentation conducted by the City of Benicia and the LAMUSP project team. It is the intent of this Code that the final locations of buildings, streets, blocks, and open spaces will be in substantial compliance with the illustrations and regulations provided herein. Final interpretation of the Form-Based Code, in the context of verified field conditions, will be the judgment of the Review Authority.

Regulating Plan



*For required open space design, refer to the Open Space Standards in Section 3.3.
For standards with regards to streets and circulation, see the Street and Circulation Standards in Section 3.4.*

- Key**
-  Study Area
 -  Jefferson Ridge Zone
 -  Adams St. Zone
 -  Grant St. Zone
 -  South of Grant Zone
 -  Additional Study Areas
 -  Buildings of Historical Significance
 -  Required Open Space
 -  Required New Street
 -  Required Off-Street Pedestrian Connections

Historic Guidelines Overlay Plan



The Arsenal Historic Conservation Plan designates eight distinct view corridors, sight lines, and panoramic views that seek to preserve essential relationships between historic buildings, landscape features, and the natural environment within the project area. The LAMUSP sustains these elements from the conservation plan and adds requirements for eight additional sight lines that must be maintained. These regulations seek to ensure the preservation of views between historic buildings and to promote visual connectivity and access between the upper and lower portions of the project area.

Key

-  Study Area
-  Sight Lines (Conservation Plan)
-  Sight Lines (New)
-  View Corridors(Conservation Plan)

Jefferson Ridge Zone



Zone Intent and Description

The intent of the standards for this zone is to provide a unique, high-quality, publicly accessible environment while facilitating the restoration, enhancement, and preservation of the area’s historic buildings and landscape, including the Officer’s Duplex, the Lieutenant’s Quarters, and the Commanding Officer’s Quarters. This zone seeks to provide an environment that is suitable for a diverse combination of compatible land uses, including commercial, entertainment, and destination/heritage tourism. It requires that new buildings in the area complement and enhance the existing historic setting through their careful siting and composition.

This zone is divided into three distinct areas, each with specific regulations to ensure that the new development will meet the specific goals of the Zone as defined by the community charrette process.

Areas A-C: The intent of Areas A-C is to provide a high-quality environment along the Jefferson Ridge. Due to the sensitivity that is required with building in the historic district, it is subdivided into three areas. Regulations for each zone require each building’s massing be broken down in order to relate to the scale of the historic officers’ quarters in the area and to reflect the formal character of institutional military architecture.

Area A: Area A intends to provide a building that defines and activates the northern edge of the proposed Officers’ Square.

Key

- Site Area
- Jefferson Ridge Zone
- Buildings of Historical Significance
- Required Open Space
- Required New Street
- Required Off-Street Pedestrian Connections

Jefferson Ridge Zone

Area B: The intent of Area B is to provide buildings that define and activate the southern edge of the proposed Officers' Square, preserve the Cork Oak trees, and enhance the view corridor to the south by providing a large landscaped terrace.

Area C: The intent of Area C is to provide a building that defines and activates the western edge of the preserved Jefferson Ridge open space, provides a formal front along Jefferson Street and Adams Street, and defines an appropriate entry at the corner of Jefferson Street and Park Road.

Area D: The intent of Area D is to provide a series of buildings that complement and enhance the formal setting of buildings along Jefferson street.

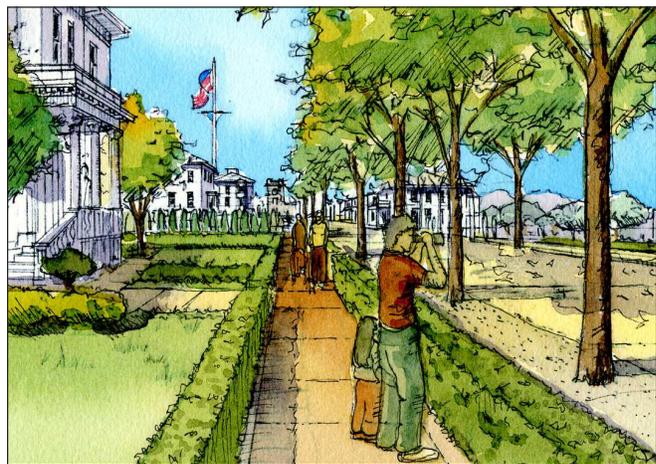
Area E: The intent of Area E is to provide buildings that provide formal addresses along the proposed street.



View of Area A across Officers' Square

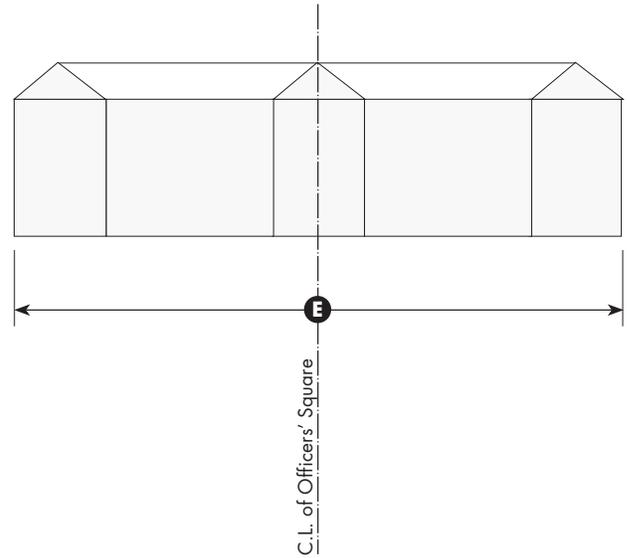
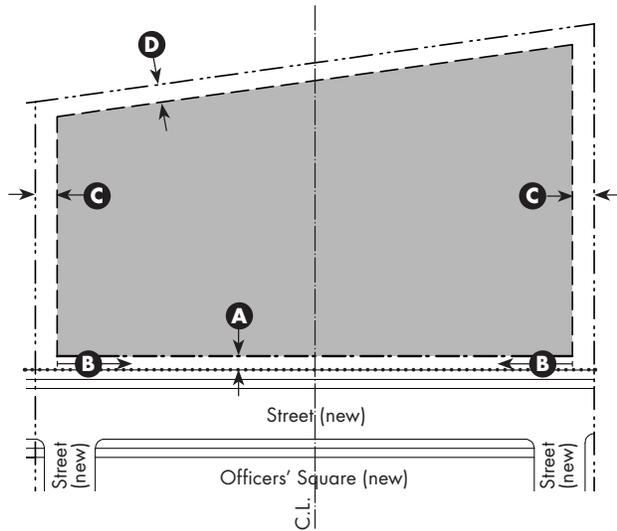


View of Area B from Officers' Square



View along Jefferson Street at Officer's Duplex

Jefferson Ridge: Area A



Key

- Property Line
- Right of Way (ROW)
- Build-to Line (BTL)
- Setback Line
- Buildable Area

Building Placement

Build-to Line

Front (along new street)	3' from ROW	A
Portion of Building Façade	Required to Be Built to BTL	0% min.; 65% max.
Portion of Porch Façade	Required to Be Built to BTL	0% min.; 65% max.
Portion of Total Building and Porch Façades	Required to Be Built to BTL	50% min. B
Building or Porch Façade must be built to BTL along first 30' from each building corner.		
Any portion of the Front Building Façade that is not at BTL must not be more than 12' behind BTL.		

Setback (Distance from Property Line)

Side	5' min.; 12' max.	C
Rear	5'	D

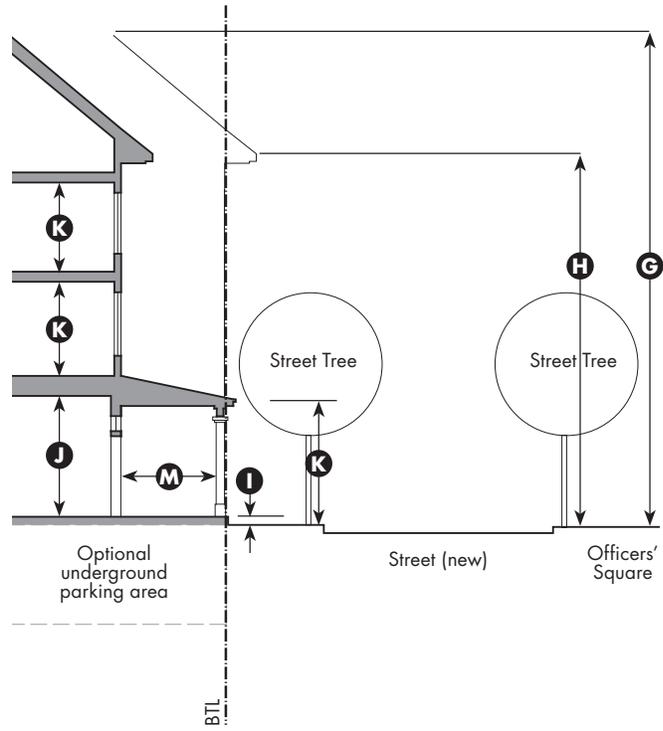
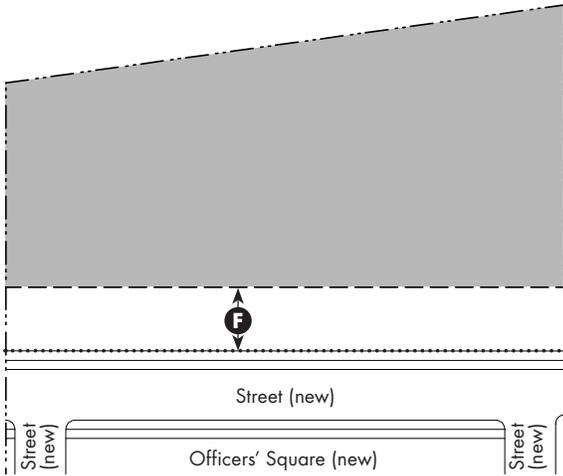
Building Form

A symmetrical composition is required on the front façade, centered on the center line of Officers' Square. **E**

No more than one building is permitted along the Front BTL.

Building must follow standards for Ridge Institutional Bar Building Types provided in section 3.2 of this chapter.

Jefferson Ridge: Area A



Key

- Property Line
- Setback Line
- Right of Way (ROW)
- Parking Area

Parking Placement

Setback

Front	30' from ROW	F
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Required Spaces

Residential	1.25 spaces/unit
Non-Residential	2 spaces/1000 sf

Notes

- Parking must be provided onsite or offsite within a district-wide parking solution.
- Underground parking may be placed up to the front BTL.
- Underground parking must not project more than 2' above the level of the sidewalk and must not be visible to pedestrians.
- All garages must be screened from street by habitable space.
- All surface parking areas must be screened by a 3'6" tall min. hedge or wall in character with the building.

Frontage: Officers' Square

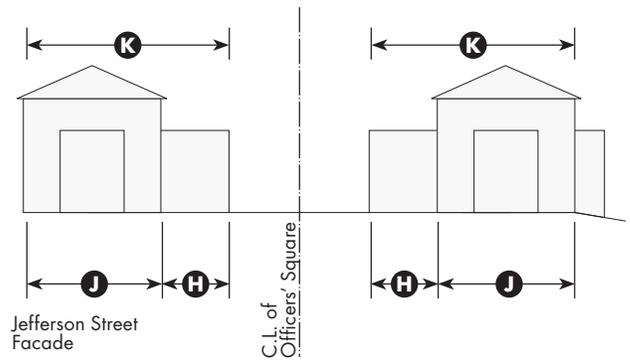
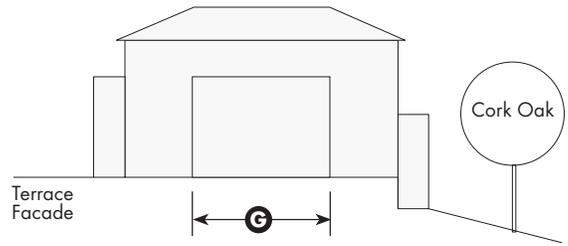
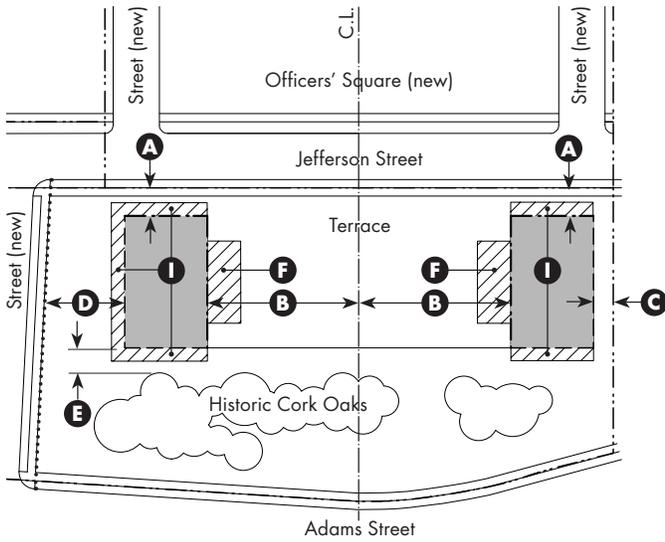
Height

Building Max.	3.5 stories and 45'	G
Max. to Eave/Top of Parapet	35'	H
Finish First Floor Level	18" min. above grade	I
First Floor Ceiling Height	12' min. clear	J
Upper Floor(s) Ceiling Height	9' min. clear	K
Porch	10' min.*; 2 stories max.	L

Miscellaneous

Porch Depth	10' min. clear	M
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Jefferson Ridge: Area B



Key

- Property Line
- Setback Line
- Right of Way (ROW)
- █ Buildable Area
- Build-to Line (BTL)
- /// Encroachment Area

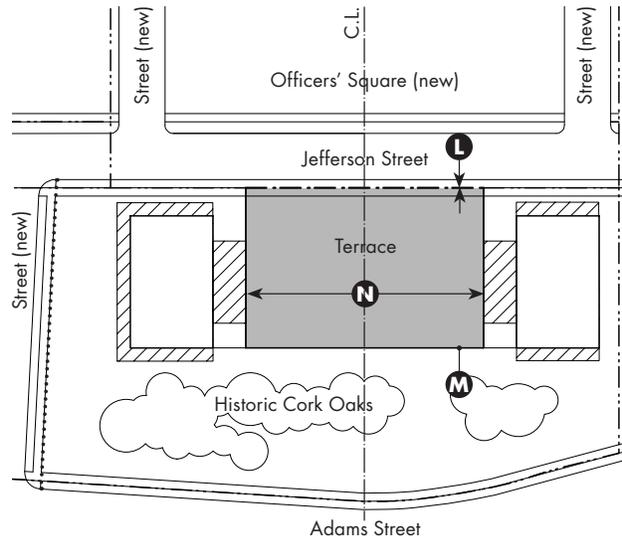
Building Placement		
Build-to Line		
Front (Jefferson Street)	12' from Property Line	A
Terrace Side	70' from center line of Officers' Square	B
Portion of Building Facade	Required to Be Built to BTL	100%
Setback		
East Side	5' from Property Line	C
West Side (along new street)	5' from ROW	D
Rear (Adams Street)	5' from Cork Oak canopy	E

Encroachments		
A porch and/or a building wing may encroach over the BTL on the terrace sides as shown on the diagram above. F		
Max. Wing Width	10' less than building width	G
Max. Combined Porch and Wing Depth	30'	H
Porches may encroach over the BTL on the front and into the setback on the sides and rear as shown on the diagram above. I		
Encroaching elements must be centered on the building façade.		

3.1-10

Building Form		
Building Width*	50' max.	J
*Does not include encroaching elements.		
Notes		
The two building façades along Jefferson Street must be a mirror image of one another, except for the porch on the west side. K		
Building must present architecturally composed façades on all building sides. Facades facing terrace must be symmetrical.		
No more than two buildings are permitted in this area.		
Building must follow standards for Ridge Mansion Building Types provided in section 3.2 of this chapter.		

Jefferson Ridge: Area B



Key

- Property Line
- Build-to Line (BTL)
- Right of Way (ROW)
- Terrace Area

Parking Placement

Required Spaces

Residential	1.25 spaces/unit
Non-Residential	2 spaces/1000 sf

Notes

Parking must be provided onsite in an underground facility or offsite within a district-wide parking solution. Onsite surface parking is not permitted unless specifically required by ADA.

Underground parking must not extend beyond the building footprint except on the terrace sides. Underground parking may be located underneath terrace.

Underground parking must not project more than 2' above the level of the sidewalk and must not be visible to pedestrians.

Miscellaneous

Terrace

Front (Jefferson Street) BTL 0' from Property Line **L**

A terrace is required at the level of Jefferson Street.

Terrace must be centered on the center line of Officers' Square.

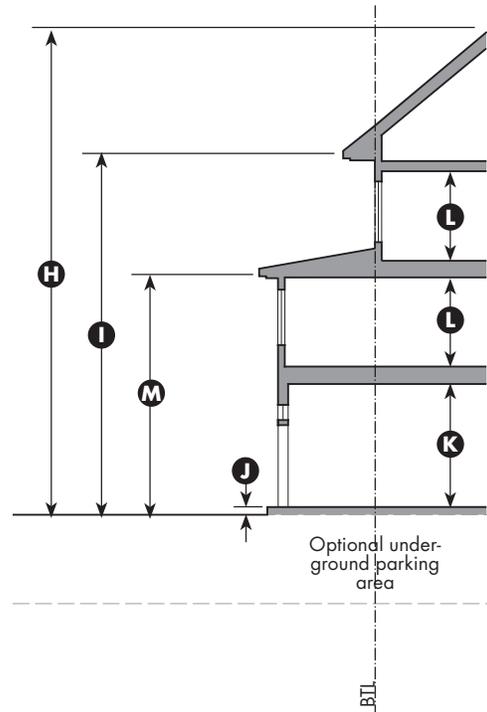
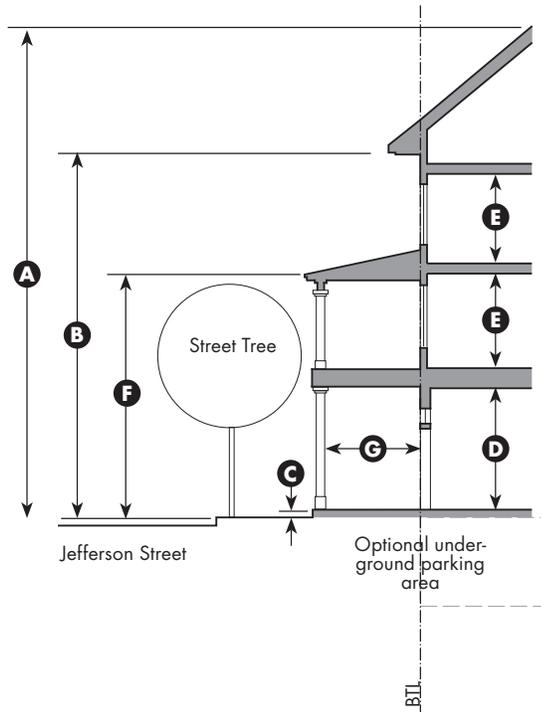
The southern edge of the terrace must align with the south façade of the main body of the buildings (not including encroaching elements). **M**

There must be a publicly accessible stair from the Terrace to the Cork Oak level and its corresponding pathways on the buildings' southern side.

A clear and unobstructed view must be provided from the viewing terrace north to Area A and south to the Cork Oaks and the Command Post beyond.

The terrace must run the full width between the buildings. **N**

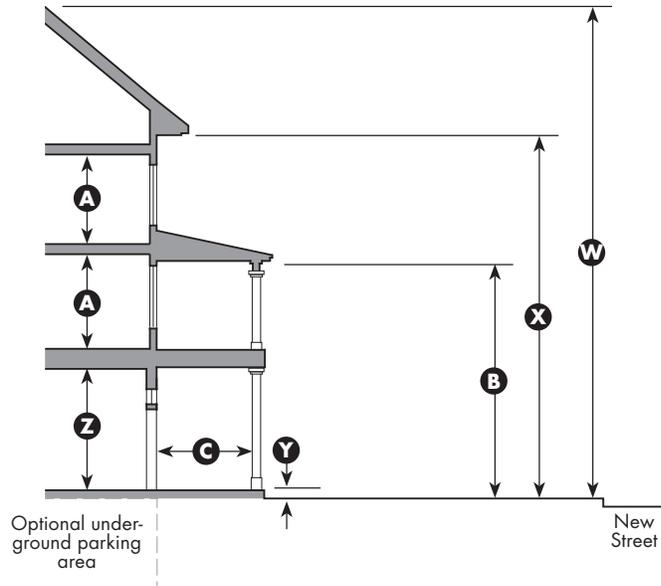
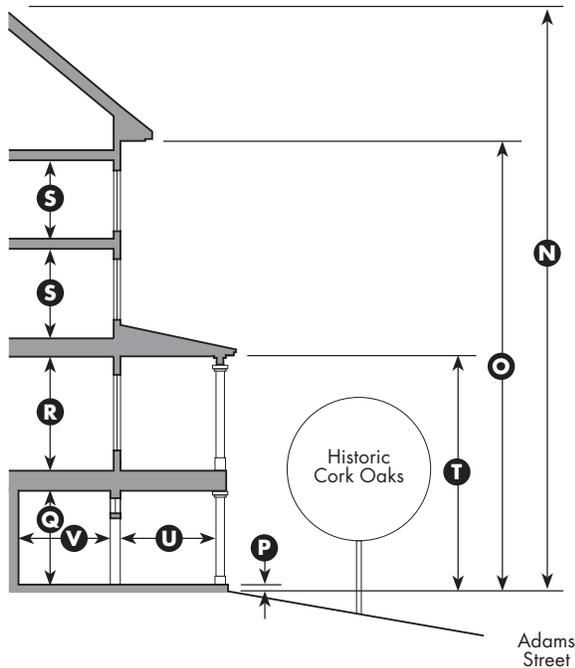
Jefferson Ridge: Area B



Frontage: Jefferson Street		
Height		
Building Max.	3.5 stories and 45' *	A
Max. to Eave/Top of Parapet	35'	B
Finish First Floor Level	18" min. above grade	C
First Floor Ceiling Height	12' min. clear	D
Upper Floor(s) Ceiling Height	9' min. clear	E
Porch	2 stories max.	F
Miscellaneous		
A porch is required.		
Porch Depth	8' min. clear	G

Frontage: Terrace		
Height		
Building Max.	3.5 stories and 45'	H
Max. to Eave/Top of Parapet	35'	I
Finish First Floor Level	18" min. above grade	J
First Floor Ceiling Height	12' min. clear	K
Upper Floor(s) Ceiling Height	9' min. clear	L
Porch/Wing	2 stories max.	M
Miscellaneous		
Porch Depth	8' min. clear	

Jefferson Ridge: Area B



Frontage: Adams Street/Cork Oak Meadow

Height

Building Max.	4.5 stories and 55'	N
Max. to Eave/Top of Parapet	45'	O
Finish Basement Floor Level	6" min. above grade	P
Basement Floor Ceiling Height	8' min. clear	Q
First Floor Ceiling Height	12' min. clear	R
Upper Floor(s) Ceiling Height	9' min. clear	S
Porch	2 stories from grade	T

Miscellaneous

A porch is required.		
Porch Depth	8' min. clear	U
Porch Width	75% min. of Building Width (not including encroaching elements)	
Depth of Basement Floor		
Habitable Space	15' min.	V

Frontage: New Street (along West side)

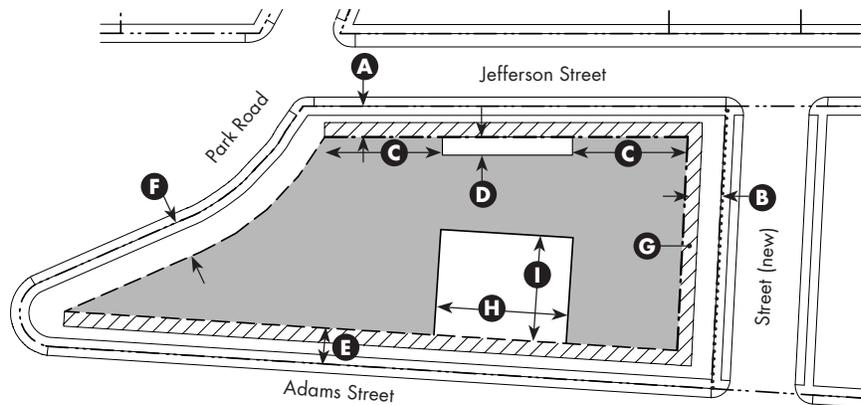
Height

Building Max.	3.5 stories and 45' *	W
Max. to Eave/Top of Parapet	35'	X
Finish First Floor Level	6" min. above grade	Y
First Floor Ceiling Height	12' min. clear	Z
Upper Floor(s) Ceiling Height	9' min. clear	A
Porch	2 stories from grade	B

Miscellaneous

A porch is required.		
Porch Depth	8' min. clear	C
Porch Width	60% min. of Building Width (not including encroaching elements)	

Jefferson Ridge: Area C



Key

- Property Line
- Right of Way (ROW)
- - - Build-to Line (BTL)
- Setback Line
- Buildable Area
- /// Encroachment Area

Building Placement

Build-to Line

Front (Jefferson Street)	17' from Property Line	A
East Side (along new street)	15' from ROW	B
Portion of Front BTL Required to be Defined by a Building	40' from corner min.; 60' from corner max.	C

Portion of Building Facade Required to Be Built to East BTL	100%	D
Any portion of Front Building Facade that is not at BTL must not be more than 10' behind BTL.		

Setback (Distance from Property Line)

Rear (Adams Street)	20'	E
West Side (Park Road)	8'	F

Encroachments

Porches may encroach up to 11' over the BTL on the front and east sides and into the setback on the south side as shown on the diagram above. **G**

3.1-14

Building Form

Courtyard

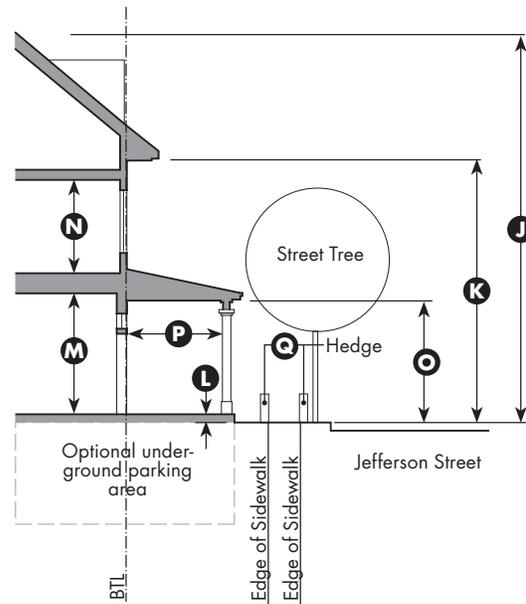
Width	55' min.	H
Depth	50' min.	I

A courtyard is required along the south side of the area. Courtyard must be defined by a building on its north, east, and west sides. Courtyard must be activated with doorways and windows facing courtyard.

Notes

- Main entries to the building must be provided on Jefferson Street, Park Road and the new street along the eastern edge.
- Building must present architecturally composed façades on all building sides.
- The eastern wing must present an architecturally composed visual terminus as seen from the Grant Street overpass bridge.
- No more than two buildings are permitted in this area.
- Building must follow standards for Ridge Institutional Bar or Courtyard Building Types provided in section 3.2 of this chapter.

Jefferson Ridge: Area C



Parking Placement

Required Spaces

Residential	1.25 spaces/unit
Non-Residential	2 spaces/1000 sf

Notes

Parking must be provided onsite in an underground facility or offsite within a district-wide parking solution. Onsite surface parking is not permitted unless specifically required by ADA. Parking must be accessed from Park Road and/or Adams Street. Underground parking must not project more than 2' above the level of the sidewalk and must not be visible to pedestrians. Underground parking must not extend beyond the building footprint except on the courtyard sides. Underground parking may be located underneath courtyard.

Frontage: Jefferson Street

Height

Building Max.	2.5 stories and 35'	J
Max. to Eave/Top of Parapet	30'	K
Finish First Floor Level	18" min. above grade	L
First Floor Ceiling Height	12' min. clear	M
Upper Floor(s) Ceiling Height	9' min. clear	N
Porch	1 story max.	O

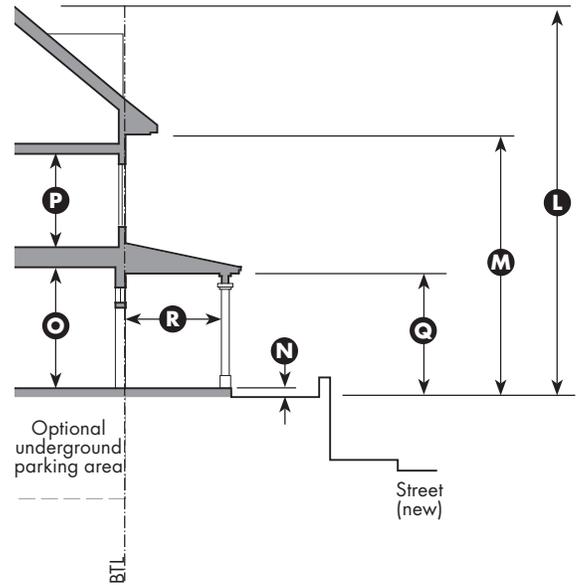
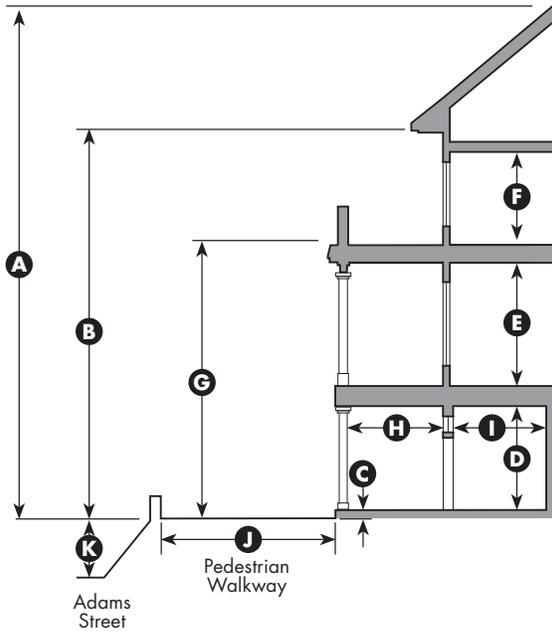
Miscellaneous

A porch is required.

Porch Depth	8' min. clear	P
Porch Width	10' min.	

A 3'6" tall hedge must define both edges of sidewalk along entire length of Jefferson Street. Q

Jefferson Ridge: Area C



Frontage: Adams Street

Height		
Building Max.	3.5 stories and 45'	A
Max. to Eave/Top of Parapet	35'	B
Finish Basement Floor Level	18" min. above grade	C
Basement Floor Ceiling Height	8' min. clear	D
First Floor Ceiling Height	12' min. clear	E
Upper Floor(s) Ceiling Height	9' min. clear	F
Porch	2 stories max.*	G

Miscellaneous

A porch is required.

Porch Depth	8' min. clear	H
Porch Width	10' min.	

Depth of First Floor

Habitable Space	15' min.	I
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An elevated pedestrian walkway is required along the south side edge.

Walkway Width	12' min.	J
Retaining Wall Height	8' max.	K

Pedestrian walkway must return to Jefferson Street with an ADA compliant sidewalk and integrate trail as illustrated in Street and Circulation Standards.

3.1-16

Frontage: New Street (along East side)

Height		
Building Max.	2.5 stories and 35'	L
Max. to Eave/Top of Parapet	30'	M
Finish First Floor Level	18" min. above grade	N
First Floor Ceiling Height	12' min. clear	O
Upper Floor(s) Ceiling Height	9' min. clear	P
Porch	1 story max.*	Q

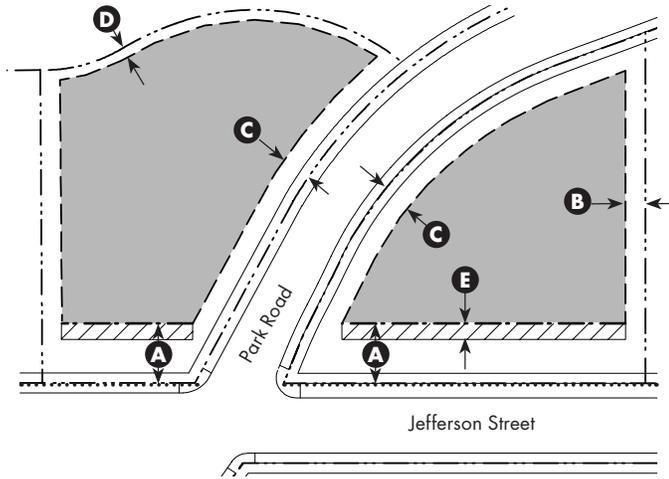
Miscellaneous

A porch is required.

Porch Depth	8' min. clear	R
Porch Width	60% min. of building façade	

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Jefferson Ridge: Area D



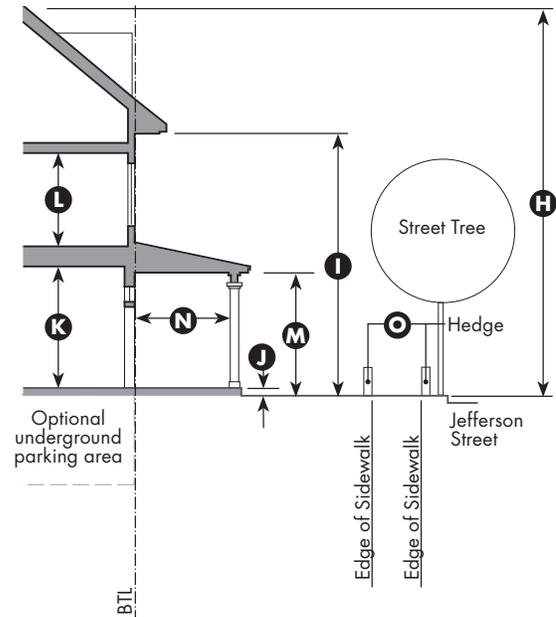
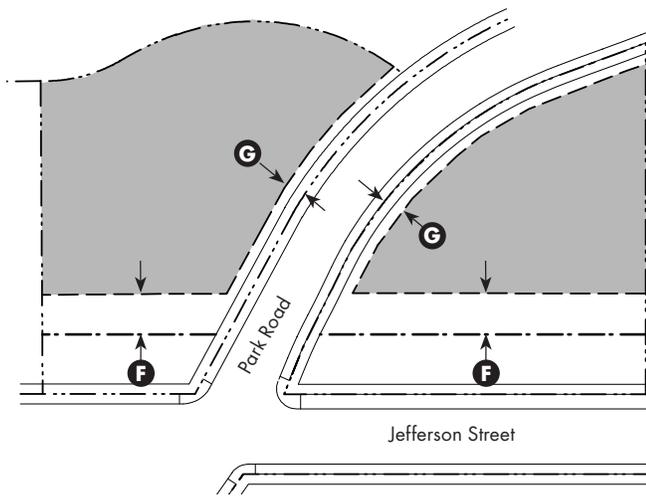
Key

- Property Line
- Right of Way (ROW)
- .- Build-to Line (BTL)
- Setback Line
- Buildable Area
- /// Encroachment Area

Building Placement	
Build-to Line	
Front (Jefferson Street)	At same distance from ROW as Officer’s Quarters A
Portion of Building Façade Required to Be Built to BTL 100%	
Setback (Distance from Property Line)	
Side	10’ B
Side Street (Park Road)	10’ C
Rear	5’ D
Encroachments	
Porches may encroach up to 10’ over the BTL on the front side as shown on the diagram above. E	
A building wing may extend beyond the maximum allowable building depth.	
Wing Width	40’ max.
Wing must have a rectilinear footprint.	

Building Form	
Building Width (along Jefferson Street)	100’ max.*
Building Depth	50’ max.*
*Not including permitted encroaching elements.	
Notes	
A main entry must be provided along Jefferson Street to any building located on Jefferson Street. If Jefferson Street façade is greater than 60’ wide, two entrances along the façade are required, with a maximum distance of 60’ between entrances. Buildings must present architecturally composed façades on sides facing Jefferson Street and Park Road. The Jefferson Street façade must be symmetrical.	
No more than two buildings are permitted on each property.	
Building must follow standards for Ridge Building Types provided in section 3.2 of this chapter.	

Jefferson Ridge: Area D



Key

- Property Line
- Setback Line
- Parking Area

Parking Placement

Setback		
Front	10' from BTL	F
Side Street	5' from Property Line	G

Required Spaces	
Residential	1.25 spaces/unit
Non-Residential	2 spaces/1000 sf

Notes

- Parking must be provided onsite or offsite within a district-wide parking solution.
- Underground parking may be placed up to the front BTL.
- Underground parking must not project more than 2' above the level of the sidewalk and must not be visible to pedestrians.
- All garages must be screened from street by habitable space.
- All surface parking areas must be screened by a 3'6" tall min. hedge or wall in character with the building.

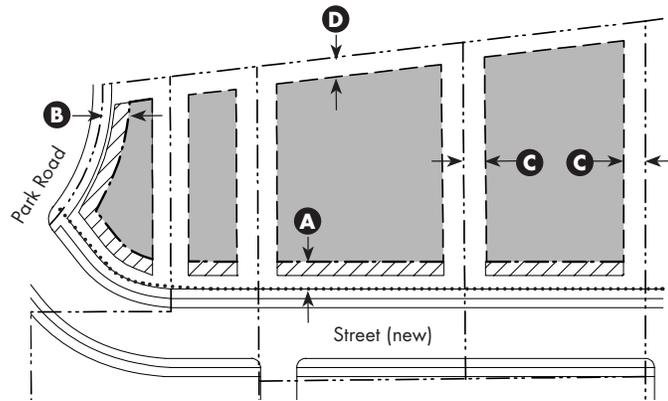
Frontage: Jefferson Street

Height		
Building Max.	2.5 stories and 35'	H
Max. to Eave/Top of Parapet	30'	I
Finish First Floor Level	18" min. above grade	J
First Floor Ceiling Height	12' min. clear	K
Upper Floor(s) Ceiling Height	9' min. clear	L
Porch	1 story max.	M

Miscellaneous

- If building façade along Jefferson Street is less than 50' wide, one porch is required. Otherwise, two porches are required.
- Porch Depth 8' min. clear N
- Porch Width 8' min.
- A 3'6" tall hedge must define both edges of sidewalk along entire length of Jefferson Street. O

Jefferson Ridge: Area E



Key

- Property Line
- Setback Line
- Right of Way (ROW)
- Buildable Area
- - - Build-to Line (BTL)
- /// Encroachment Area

Building Placement

Build-to Line		
Front (along new street)	10' from ROW	A
Side Street	10' from Property Line	B
Portion of Building Facade Required to Be Built to Front BTL 80%		
Portion of Building Facade Required to Be Built to Side Street BTL 60%		

Setback		
Side	10' from Property Line	C
Rear	5' from Property Line	D

Encroachments

Porches may encroach up to 10' over the BTL on the front and street sides as shown on the diagram above.

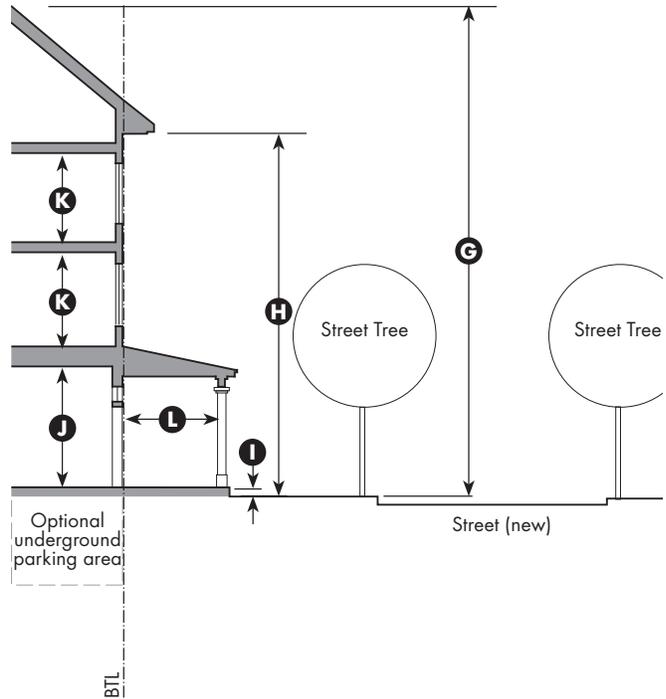
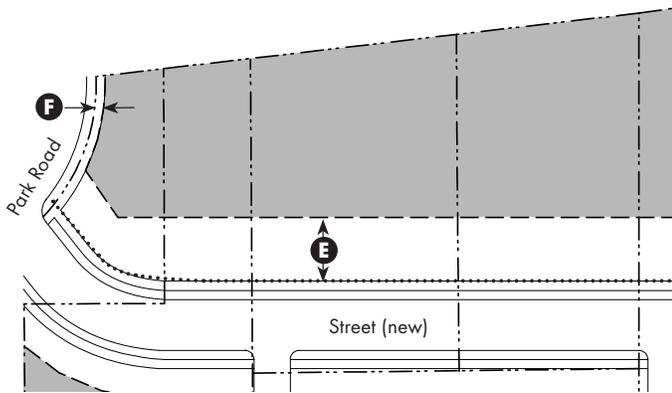
Building Form

Building Width (along new street) 100' max.

Notes

- A main entry to building must be provided along the new street.
- Building must present architecturally composed façades along all sides facing a street.
- No more than one building is permitted on each property.
- Building must follow standards for Ridge Building Types provided in section 3.2 of this chapter.

Jefferson Ridge: Area E



Key

- Property Line
- Setback Line
- Right of Way (ROW)
- Parking Area

Parking Placement

Setback		
Front	35' from ROW	E
Side Street	20' from Property Line	F

Required Spaces		
Residential	1.25 spaces/unit	
Non-Residential	2 spaces/1000 sf	

Notes

- Parking must be provided onsite or offsite within a district-wide parking solution.
- Underground parking may be placed up to the front BTL.
- Underground parking must not project more than 2' above the level of the sidewalk and must not be visible to pedestrians
- All garages must be screened from street by habitable space.
- All surface parking areas must be screened by a 3'6" tall min. hedge or wall in character with the building.

Frontage: New Street (along South side)

Height		
Building Max.	3.5 stories and 45'	G
Max. to Eave/Top of Parapet	35'	H
Finish First Floor Level	18" min. above grade	I
First Floor Ceiling Height	12' min. clear	J
Upper Floor(s) Ceiling Height	10' min. clear	K

Miscellaneous

- If building façade along new street is more than 40' wide, one porch is required.
- Porch Depth 8' min. clear **L**

Jefferson Ridge Zone

Table 3.1.1: Jefferson Ridge Zone

Land Use Type ¹	Permit Required	Specific Use Regulations	Land Use Type ¹	Permit Required	Specific Use Regulations
Recreation, Education & Public Assembly			Retail		
Commercial recreation facility: Indoor	UP		Bar, tavern, night club	UP	
Conference/convention facility	MUP		General retail, except with any of the following features:	UP	
Health/fitness facility	UP		Alcoholic beverage sales	UP	
Library, museum	MUP		Floor area over 6,000 sf	UP	
Meeting facility, public or private	MUP		On-site production of items sold	NA	
Park, playground	P		Operating between 9pm and 7am	UP	
School, public or private	MUP		Restaurant, café, coffee shop	MUP	
Studio: art, dance, martial arts, music, etc.	P		Services: Business, Financial, Professional		
Theatre (cinemas or performing arts)	UP		ATM	P	
Residential			Business support service	MUP	
Home occupation	UP		Office: Business, service	MUP	
Live/Work	UP		Office: Professional, administrative	MUP	
Work/Live	UP		Services: General		
Mixed use project residential component	UP		Bed & Breakfast	P	
Multi-Family Residential	UP		Lodging	UP	
Residential care, 7 or more clients	UP		Personal services	MUP	
			Transportation, Communications, Infrastructure		
			Parking facility, public or private	UP	
			Wireless telecommunications facility	UP	

Key	
P	Permitted Use
MUP	Minor Use Permit Required - Staff Review Only
UP	Use Permit Required
NA	Use Not Allowed

End Notes

¹ A definition of each listed use type is in the Glossary.

Adams Street Zone

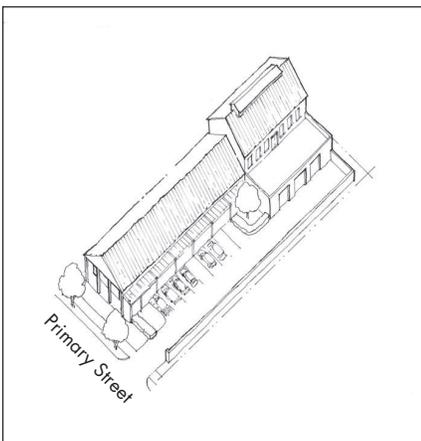


Zone Intent and Description

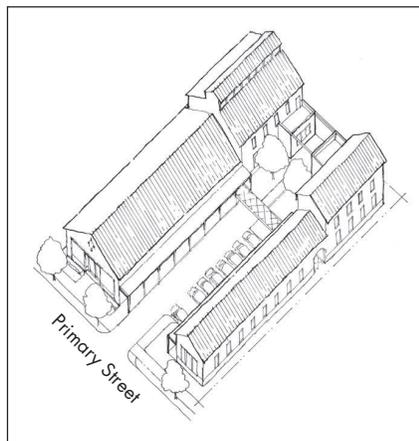
The intent of the standards for this zone is to promote compatible building forms that can contribute to the continued, diverse combination of office, retail, light industrial, and work/live uses in the area. This zone intends that Adams Street continue to be a primary entrance to the Port for trucks and function as a “buffer zone” between the northern and southern districts of the project area. It seeks to maximize the internalization of potentially conflicting land uses through the regulation of internal courtyards and encourages an environment of consistent background buildings that enhance the area’s historic buildings, which include the Guard House and the Arsenal Administration Building.

Key

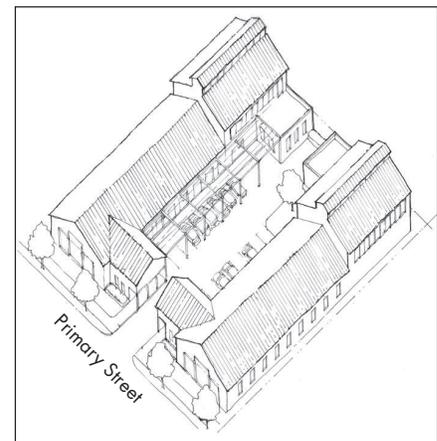
-  Site Area
-  Adams St. Zone
-  Buildings of Historical Significance
-  Required Open Space
-  Required New Street
-  Required Off-Street Pedestrian Connections



Typical Narrow Lot Condition

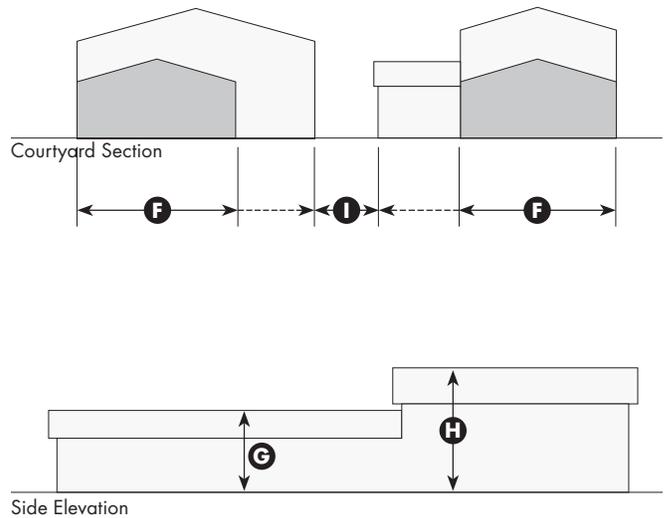
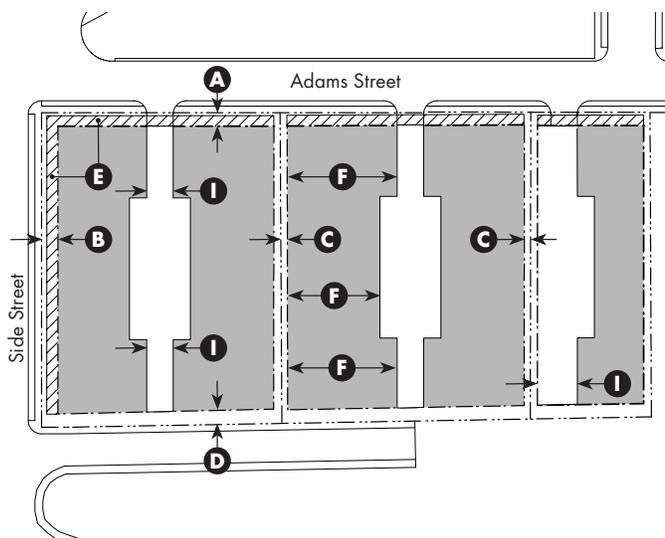


Typical Medium Lot Condition



Typical Wide Lot Condition

Adams Street Zone



Key

- Property Line
- Build-to Line (BTL)
- Buildable Area
- /// Encroachment Area

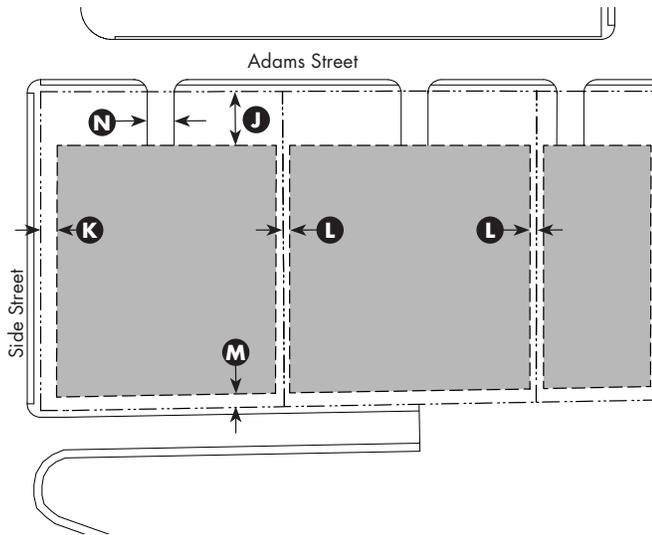
Building Placement		
Build-to Line (Distance from Property Line)		
Front (Adams Street)	10'	A
Side Street	10'	B
Side	5'	C
Rear	10'	D
Portion of Front BTL Required to be Defined by a Building 80%		
All BTL's except for required view corridors must be defined by building wall or 6'0" high min. privacy wall in character with the building.		

Encroachments
 Awnings may encroach up to 8' over the BTL on the front and street sides as shown on the diagram above. **E**

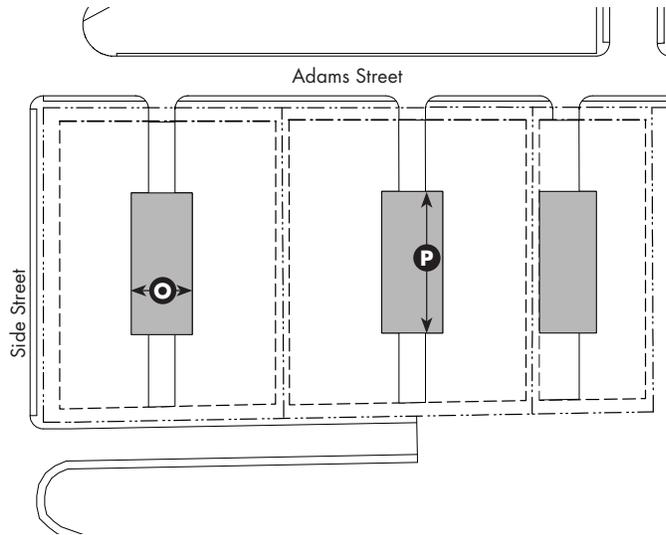
Building Form		
Building Width	16' min.; 50' max.	F
Building Height		
Within 100' of Front BTL	2 stories and 35' max. 30' max. to Eave	G
100' or more from Front BTL	3 stories and 45' max. 40' max. to Eave	H

Notes
 All buildings must have gable-end forms facing Adams Street.
 A 20' min. wide north-south view corridor must be provided. **I**
 Loading docks, overhead doors, and other service entries are prohibited on street-facing façades and must be located along interior service courtyards.
 Building must present architecturally composed façades along Adams Street and along façade zones adjacent to pedestrian paths and open spaces.
 Buildings must follow standards for Lower Arsenal Mixed Use or Industrial Building Types provided in section 3.2 of this chapter.

Adams Street Zone



- Key**
- Property Line
 - Setback Line
 - Parking Area



- Key**
- Property Line
 - Setback Line
 - Build-to Line (BTL)
 - Courtyard Area

Parking Placement

Setback		
Front	30' from Property Line	J
Side Street	10' from Property Line	K
Side	5' from Property Line	L
Rear	10' from Property Line	M

Required Spaces

Residential	1.25 spaces/unit	N
Non-Residential	2 spaces/1000 sf	

Notes

- Width of Driveway 15' max.
- Parking must be provided onsite or offsite within a district-wide parking solution.
- Underground parking may be placed up to the front BTL.
- Underground parking must not project more than 2' above the level of the sidewalk and must not be visible to pedestrians.
- All garages must be screened from street by habitable space.

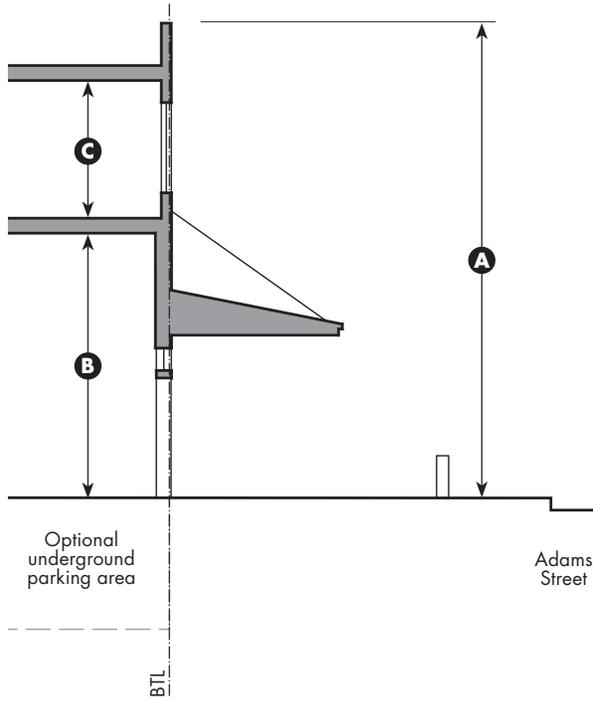
Miscellaneous

Courtyard

Courtyard Width	40' min.	O
Courtyard Depth	80' min.	P

- A north-south oriented courtyard is required.
- If lot is more than 72' wide, courtyard must be defined on both the east and west sides by a building on the property.

Adams Street Zone



Frontage: Adams Street

Height		
Building Max.	2 stories and 35'	A
First Floor Ceiling Height	12' min. clear	B
Upper Floor Ceiling Height	10' min clear	C

Adams Street Zone

Table 3.1.2: Adams Street Zone

Land Use Type ¹	Permit Required	Specific Use Regulations
Industry, Manufacturing & Processing		
Art/Craft Studios		
< 3000 sf	P	
> 3000 sf	P	
Furniture and fixtures manufacturing, cabinet shop	P	
Manufacturing/processing, light	UP	
Media production	P	
Metal products fabrication, machine or welding shop	UP	
Printing and publishing	P	
Recycling - small collection facility	P	
Vehicle Services: Major Repair/Body Work	P	
Vehicle Services: Minor Maintenance/Repair	P	
Wholesaling and distribution	P	
Recreation, Education & Public Assembly		
Health/fitness facility	UP	
Library, museum	UP	
Park, playground	P	
Studio: art, dance, martial arts, music, etc.	UP	
Theatre (cinemas or performing arts)	UP	
Residential		
Home occupation	UP	
Live/Work	UP	
Work/Live	MUP	
Mixed use project residential component	UP	

Key

P	Permitted Use
MUP	Minor Use Permit Required - Staff Review Only
UP	Use Permit Required
NA	Use Not Allowed

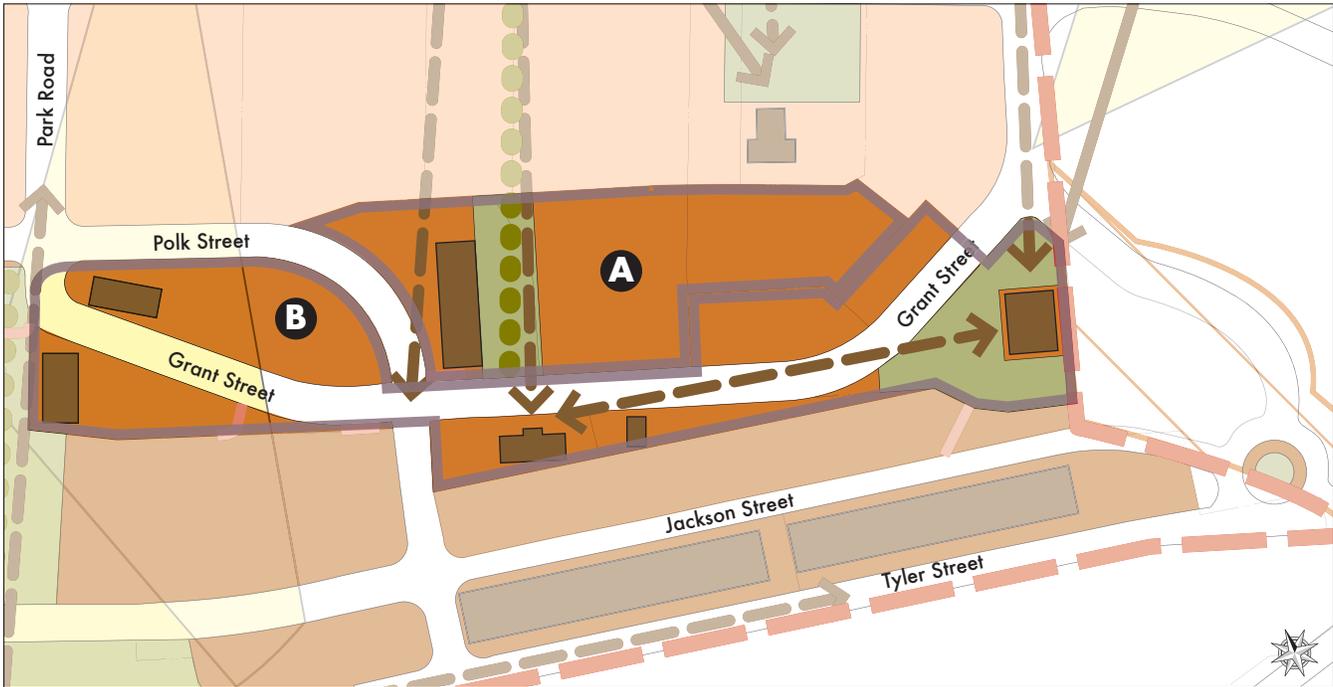
End Notes

¹ A definition of each listed use type is in the Glossary.
Lower Arsenal Mixed Use Specific Plan
Opticos Design, Inc.

Land Use Type ¹	Permit Required	Specific Use Regulations
Retail		
Bar, tavern, night club	UP	
General retail, except with any of the following features:	P	
Alcoholic beverage sales	UP	
Floor area over 6,000 sf	UP	
On-site production of items sold	UP	
Operating between 9pm and 7am	UP	
Neighborhood market	P	
Restaurant, café, coffee shop	P	
Services: Business, Financial, Professional		
ATM	P	
Bank, financial services	P	
Business support service	P	
Medical services: Clinic, urgent care	P	
Medical services: Doctor office	P	
Medical services: Extended care	P	
Office: Business, service	P	
Office: Professional, administrative	P	
Services: General		
Day care center: Child or adult	P	
Personal services	P	
Transportation, Communications, Infrastructure		
Wireless telecommunications facility	P	

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Grant Street Zone



Zone Intent and Description

The intent of the standards for this zone is to promote a building form that can assist in the continued, diverse combination of office, retail, light industrial, work/live, artisan, and residential uses in the area. This zone foresees improvements to Grant Street that can effectively minimize potential conflicts with neighboring industrial uses, and thus anticipates a walkable, pedestrian-oriented, vertically-oriented, mixed-use district that can evolve over time. It seeks to encourage new buildings that enhance the environment and setting for the area’s historic buildings, which include the former Barracks (the BOQ) and the Command Post.

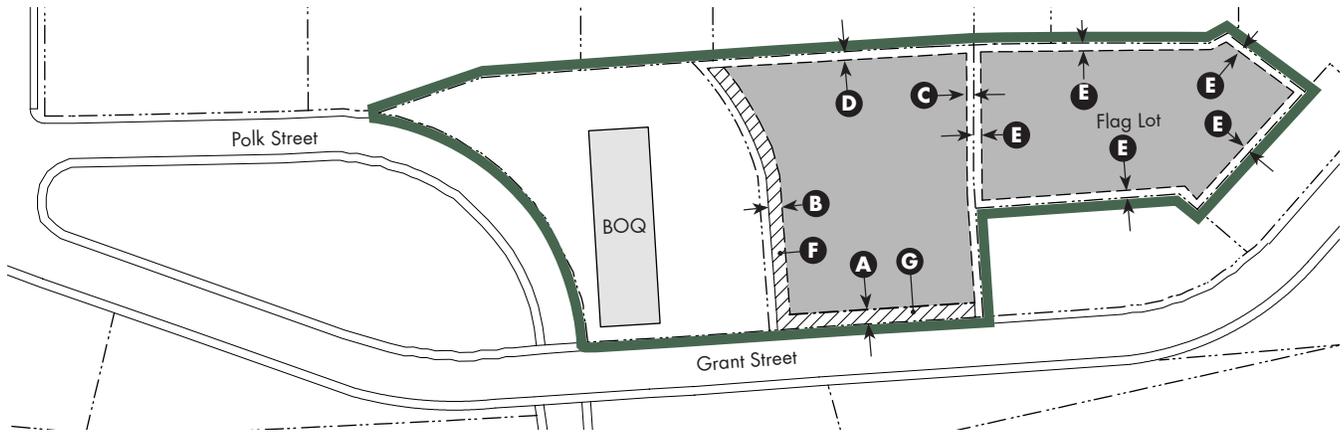
The Grant Street Zone is divided into two principal areas in order to recognize the unique physical conditions created by the historic Barracks. The intent of Area A is to provide a compact, urban node that can support a pedestrian-oriented, mixed-use environment.

The intent of Area B is to encourage urban buildings along Grant and Polk Streets that are compatible with the goals of the zone and with the existing historic buildings in the area, including the Storehouse and the Garage.

Key

-  Site Area
-  Grant St. Zone
-  Buildings of Historical Significance
-  Required Open Space
-  Required New Street
-  Required Off-Street Pedestrian Connections

Grant Street: Area A



Key

- Area Boundary
- Property Line
- Build-to Line (BTL)
- Buildable Area
- Setback Line
- Encroachment Area

Building Placement

Build-to Line (Distance from Property Line)		
Front (Grant Street)	0' min.; 10' max.*	A
Barracks (BOQ) Side	10'	
Portion of BTL Required to be Defined by a Building	75% min.	B

* Once a BTL is established on a property, it must remain consistent across property.

Setback (Distance from Property Line)		
Side	5'	C
Rear	5'	D
Flag Lot, All Sides	5'	E

Encroachments

Porches may encroach up to 10' over the BOQ BTL as shown on the diagram above. **F**

At least 75% of BOQ BTL must be lined with a porch in order to mirror the continuous porch of the facing BOQ building.

Awnings and Galleries may encroach up to 10' over the BTL on the front and into the setback on the street sides as shown on the diagram above. **G**

Building Form

On properties along Grant Street, a main entry to the building must be provided on Grant Street façade.

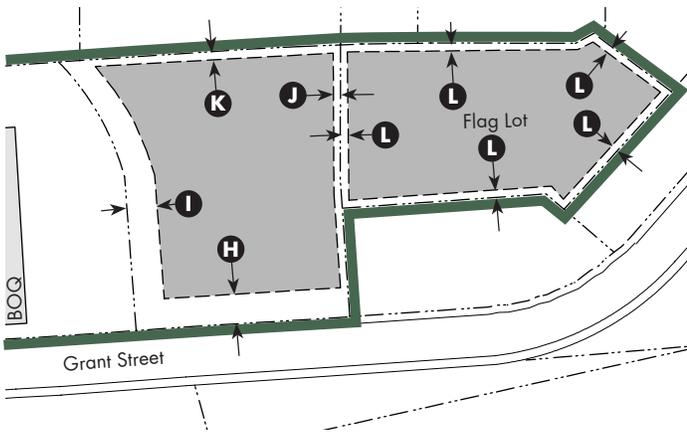
On property adjacent to BOQ, a main entry to the building must be provided on façade facing BOQ.

Entry to main residence must be separate from entry to ground-floor flex space

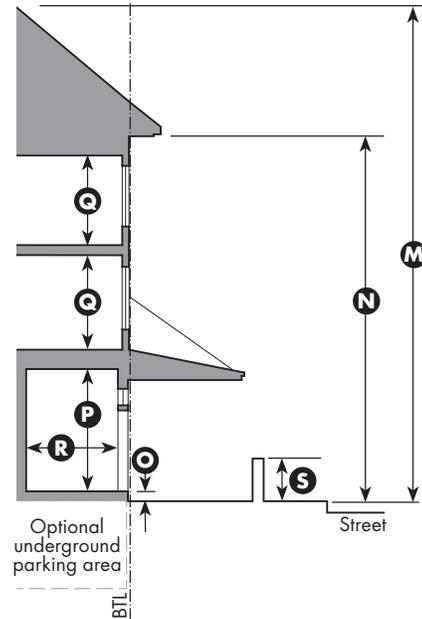
Buildings must follow standards for Lower Arsenal Building Types provided in section 3.2 of this chapter.

For required street design, see Street and Circulation Standards provided in section 3.3 of this chapter.

Grant Street: Area A



Key
 - - - - Property Line
 - - - - Setback Line
 ■ Parking Area



Parking Placement

Setback (Distance from Property Line)		
Front	20'	H
BOQ Side	10'	I
Side	5'	J
Rear	5'	K
Flag Lot, All Sides	5'	L

Required Spaces

Residential	1.25 spaces/unit
Non-Residential	2 spaces/1000 sf

Notes

- Parking must be provided onsite or offsite within a district-wide parking solution.
- Underground parking may be placed up to the BTL.
- Underground parking must not project more than 2' above the level of the sidewalk and must not be visible to pedestrians.
- All garages must be screened from street by habitable space.
- All surface parking areas must be screened by a 3'6" tall min. hedge or wall in character with the building.

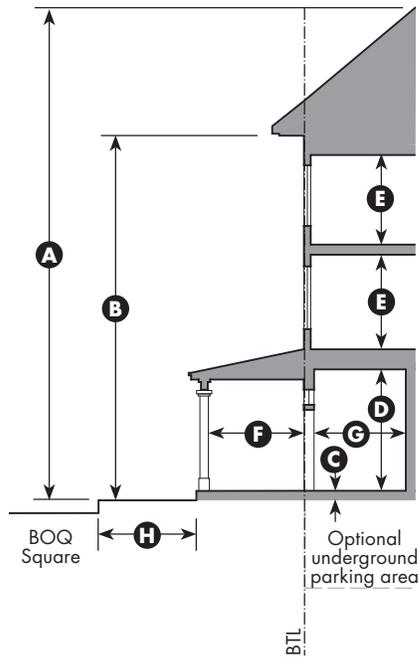
Frontage: Grant Street

Height		
Building Max.	3 stories and 38'	M
Max. to Eave/Top of Parapet	35'	N
Finish First Floor Level	6" max. above sidewalk	O
First Floor Ceiling Height	12' min. clear	P
Upper Floor(s) Ceiling Height	8' min. clear	Q

Miscellaneous

Depth of First Floor	
Habitable Space	15' min. R
Entire length of Front BTL must be defined by building wall or 3'6" high min. wall, hedge, or fence in character with the building. S	

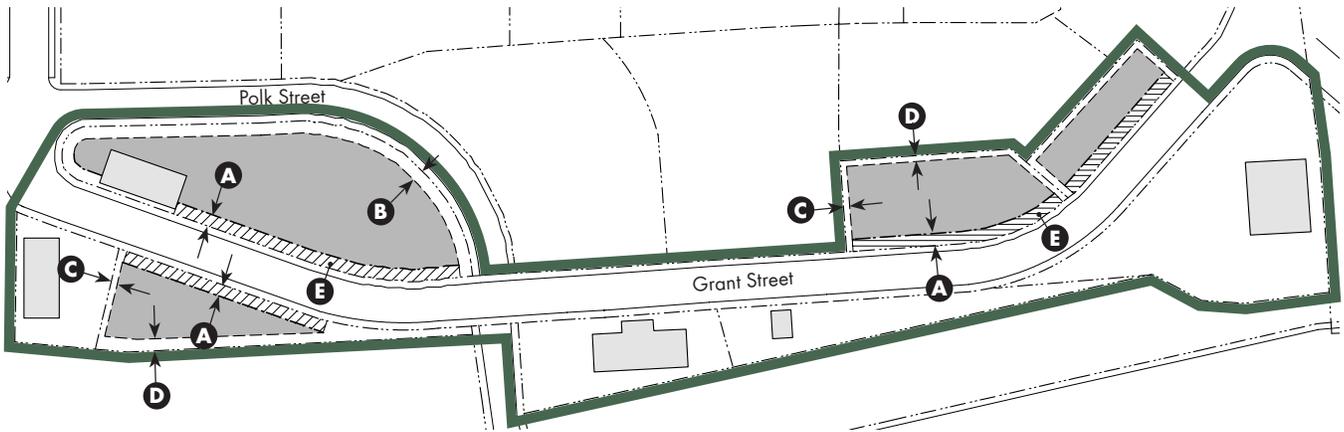
Grant Street: Area A



Frontage: B.O.Q. Square		
Height		
Building Max.	3 stories and 38'	A
Max. to Eave/Top of Parapet	35'	B
Finish First Floor Level	18" min. above grade	C
First Floor Ceiling Height	10' min. clear	D
Upper Floor(s) Ceiling Height	8' min. clear	E
Miscellaneous		
A porch is required.		
Porch Depth	8' min. clear	F
Depth of First Floor		
Habitable Space	15' min.	G
A continuous sidewalk along entire edge is required.		
Sidewalk Depth	4' min.	H

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Grant Street: Area B



Key

- Area Boundary
- Property Line
- Build-to Line (BTL)
- Buildable Area
- Setback Line
- Encroachment Area

Building Placement

Build-to Line (Distance from Property Line)

Front (Grant Street)	0' min.; 10' max.*	A
Portion of BTL Required to be Defined by a Building	50% min.	

*Once a BTL is established on a property, it must remain consistent across property.

Setback (Distance from Property Line)

Side Street	5'	B
Side	5'	C
Rear	5'	D

Encroachments

Porches, Awnings, and Galleries may encroach up to 10' **E** over the BTL on the front and into the setback on the street sides as shown on the diagram above.

Building Form

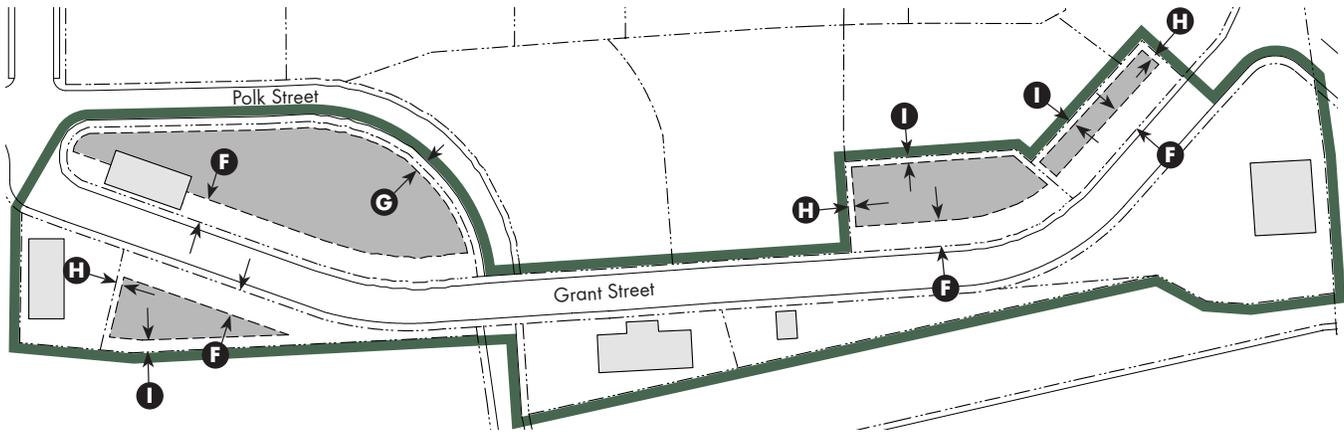
On properties along Grant Street, a main entry to the building must be provided on Grant Street façade.

Entry to main residence must be separate from entry to ground-floor flex space

Buildings must follow standards for Lower Arsenal Building Types provided in section 3.2 of this chapter.

For required street design, see Street and Circulation Standards provided in section 3.3 of this chapter.

Grant Street: Area B



Key

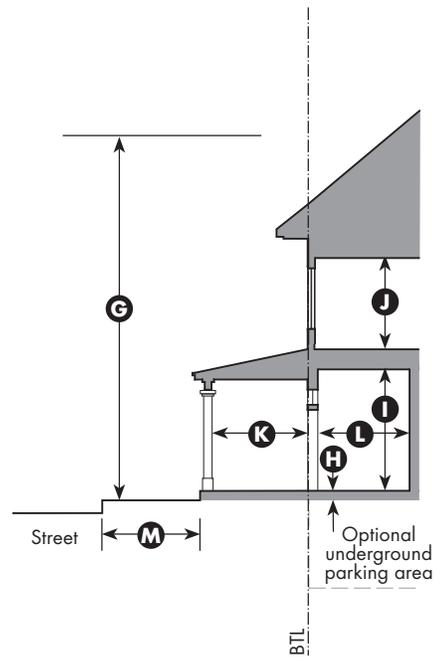
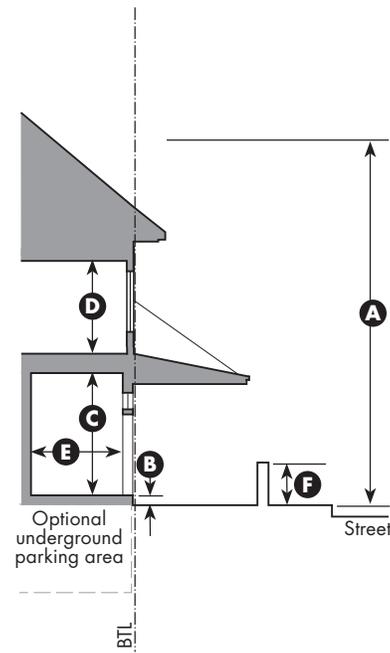
- Property Line
- Setback Line
- Parking Area

Parking Placement		
Setback (Distance from Property Line)		
Front	20'	F
Side Street	20'	G
Side	5'	H
Rear	5'	I
Required Spaces		
Residential	1.25 spaces/unit	
Non-Residential	2 spaces/1000 sf	

Notes

- Parking must be provided onsite or offsite within a district-wide parking solution.
- Underground parking may be placed up to the BTL.
- Underground parking must not project more than 2' above the level of the sidewalk and must not be visible to pedestrians.
- All garages must be screened from street by habitable space.
- All surface parking areas must be screened by a 3'6" tall min. hedge or wall in character with the building.

Grant Street: Area B



Frontage: Grant Street, Option 1		
Height		
Building Max.	2 stories and 25'	A
Finish First Floor Level	6" max. above sidewalk	B
First Floor Ceiling Height	12' min. clear	C
Upper Floor(s) Ceiling Height	8' min. clear	D
Miscellaneous		
Depth of First Floor		
Habitable Space	15' min.	E
Entire length of Front BTL must be defined by building wall or 3'6" high min. wall, hedge, or fence in character with the building.		
		F

Frontage: Grant Street, Option 2		
Height		
Building Max.	2 stories and 25'	G
Finish First Floor Level	18" min. above grade	H
First Floor Ceiling Height	10' min. clear	I
Upper Floor(s) Ceiling Height	8' min. clear	J
Miscellaneous		
A porch is required.		
Porch Depth	8' min. clear	K
Depth of First Floor		
Habitable Space	15' min.	L
A continuous sidewalk along entire edge is required.		
Sidewalk Depth	4' min.	M

Grant Street Zone

Table 3.1.3: Grant Street Zone

Land Use Type	Permit Required	Specific Use Regulations
Industry, Manufacturing & Processing		
Art/Craft Studios		
< 3000 sf	P	
> 3000 sf	UP	
Recreation, Education & Public Assembly		
Health/fitness facility	MUP	
Library, museum	UP	
Park, playground	P	
Studio: art, dance, martial arts, music, etc.	UP	
Residential		
Home occupation	P	
Live/Work	P	
Work/Live	P	
Mixed use project residential component	P	
Multi-Family Residential	UP	
Residential care, 7 or more clients	UP	

Land Use Type ¹	Permit Required	Specific Use Regulations
Retail		
Bar, tavern, night club	UP	
General retail, except with any of the following features:	P	
Alcoholic beverage sales	UP	
Floor area over 6,000 sf	NA	
On-site production of items sold	NA	
Operating between 9pm and 7am	NA	
Neighborhood market	P	
Restaurant, café, coffee shop	P	
Services: Business, Financial, Professional		
ATM	P	
Bank, financial services	UP	
Office: Business, service	UP	
Office: Professional, administrative	UP	
Services: General		
Bed & Breakfast	P	
Day care center: Child or adult	UP	
Day care center: Small family	P	
Transportation, Communications, Infrastructure		
Wireless telecommunications facility	UP	

Key

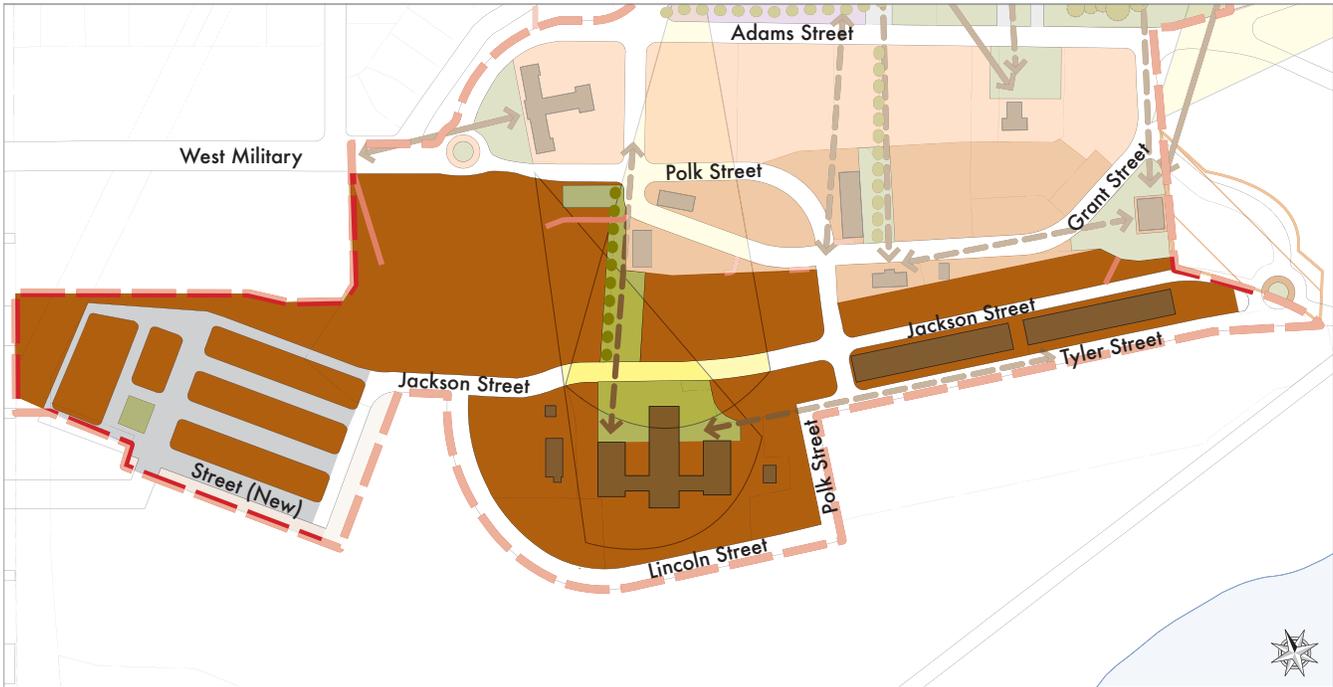
P	Permitted Use
MUP	Minor Use Permit Required - Staff Review Only
UP	Use Permit Required
NA	Use Not Allowed

End Notes

¹ A definition of each listed use type is in the Glossary.

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South of Grant Zone



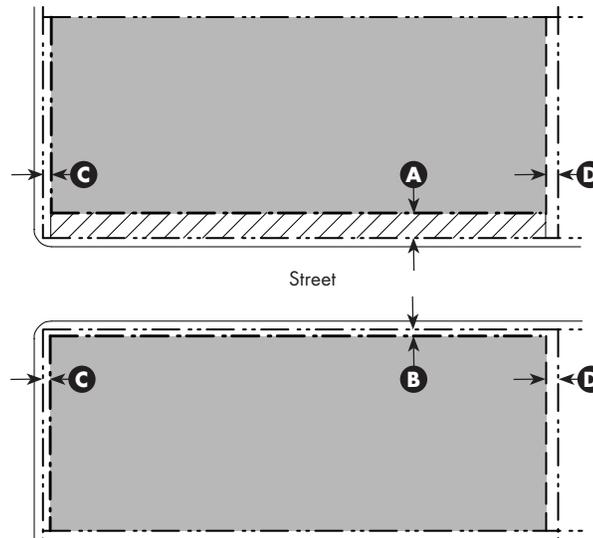
Zone Intent and Description

The intent of the standards for this zone is to promote and preserve a suitable environment for the diverse combination of heavy industrial, light industrial/warehouse, artisan, and work/live uses in the area that will continue to provide a suitable and compatible neighbor with the Port. This zone intends to encourage the preservation of existing large-footprint buildings with flexible floorplans, and the new development of such structures where opportunities arise.

Key

-  Site Area
-  South of Grant Zone
-  Buildings of Historical Significance
-  Required Open Space
-  Required New Street
-  Required Off-Street Pedestrian Connections

South of Grant Zone



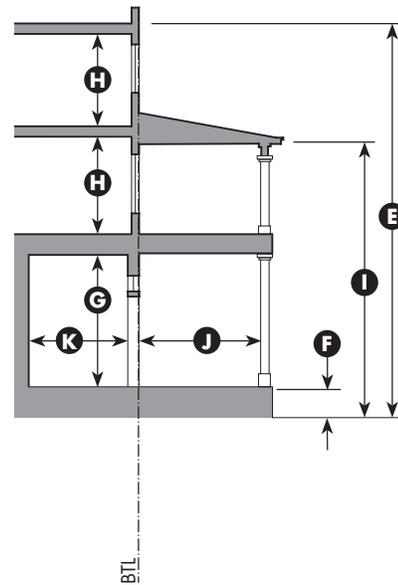
Key

- Property Line
- Build-to Line (BTL)
- Setback Line
- Buildable Area
- /// Encroachment Area

Building Placement		Building Form
Build-to Line (Distance from Property Line)		All buildings on property must be designed as one form with a consistent eave line or cornice line.
Front, South-Facing	A	
Without head-in parking	8' min.; 11' max.*	Buildings must follow standards for Lower Arsenal Building Types provided in section 3.2 of this chapter.
With head-in parking	29' *	
Front, North-Facing	B	
Without head-in parking	3' *	
With head-in parking	20' *	
Side Street	3' C	
Portion of Front BTL Required to be Defined by a Building	80% min.	
*Once a BTL is established on a property, it must remain consistent across property.		
Setback (Distance from Property Line)		
Side	5' D	
Encroachments		

A two-story full length gallery may encroach up to 8' over the South-Facing BTL as shown on the diagram above.

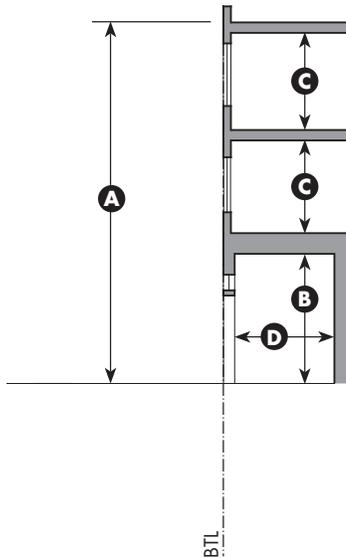
South of Grant Zone



Parking Placement	
Required Spaces	
Residential	1.25 spaces/unit
Non-Residential	2 spaces/1000 sf
Notes	
Parking must be provided onsite or offsite within a district-wide parking solution.	
All garages must be screened from street by habitable space.	
All surface parking areas must be screened by a 3'6" tall min. hedge or wall in character with the building.	

Frontage: South Facing Loading Dock		
Height		
Building Max.	3 stories and 40'	E
Finish First Floor Level	2' min. above grade	F
First Floor Ceiling Height	15' min. clear	G
Upper Floor(s) Ceiling Height	10' min. clear	H
Gallery	2 stories max.	I
Miscellaneous		
Depth of Loading Dock/Gallery	8' min. clear	J
Depth of First Floor		
Useable Space	15' min.	K
Mezzanines less than 500 sf do not count as a floor.		

South of Grant Zone



Frontage: North Facing At-Grade Warehouse

Height		
Building Max.	3 stories and 40'*	A
First Floor Ceiling Height	15' min. clear	B
Upper Floor(s) Ceiling Height	10' min. clear	C

*Mezzanines less than 500 sf do not count as a floor.

Miscellaneous

Depth of First Floor		
Habitable Space	15' min.	D

South of Grant Zone

Table 3.1.4: South of Grant Zone

Land Use Type ¹	Permit Required	Specific Use Regulations
Industry, Manufacturing & Processing		
Art/Craft Studios		
< 3000 sf	P	
> 3000 sf	P	
Furniture and fixtures manufacturing, cabinet shop	P	
Manufacturing/processing, light	P	
Media production	P	
Metal products fabrication, machine or welding shop	P	
Printing and publishing	P	
Recycling - small collection facility	P	
Vehicle Services: Major Repair/Body Work	P	
Vehicle Services: Minor Maintenance/Repair	P	
Wholesaling and distribution	P	
Recreation, Education & Public Assembly		
Commercial recreation facility: Indoor	P	
Health/fitness facility	P	
Library, museum	P	
Meeting facility, public or private	UP	
Park, playground	P	
School, public or private	UP	
Studio: art, dance, martial arts, music, etc.	P	
Theatre (cinemas or performing arts)	UP	

Key	
P	Permitted Use
MUP	Minor Use Permit Required - Staff Review Only
UP	Use Permit Required
NA	Use Not Allowed

End Notes

¹ A definition of each listed use type is in the Glossary.

Land Use Type ¹	Permit Required	Specific Use Regulations
Residential		
Home occupation	P**	
Work/Live	P**	
Mixed use project residential component	P**	
Residential care, 7 or more clients	UP**	
Retail		
Bar, tavern, night club	UP	
General retail, except with any of the following features:	P	
Alcoholic beverage sales	UP	
Floor area over 6,000 sf	UP	
On-site production of items sold	UP	
Operating between 9pm and 7am	UP	
Neighborhood market	P	
Restaurant, café, coffee shop	P	
Services: Business, Financial, Professional		
ATM	P	
Bank, financial services	UP	
Business support service	P	
Office: Business, service	P	
Office: Professional, administrative	P	
Services: General		
Day care center: Child or adult	P	
Personal services	P	
Transportation, Communications, Infrastructure		
Parking facility, public or private	UP	
Wireless telecommunications facility	UP	

** No residential uses, including live-work, may be allowed on Jackson Street west of Polk and south of Grant.

Shared Regulations

Parking

Notes

On-Street parking contiguous with projects may be counted toward the fulfillment of non-residential parking requirements.

Buildings of historic significance, renovations, and adaptive re-use projects are exempt from current parking requirements, and may provide parking in line with historical supply.

Parking may be provided off-site or as shared parking as part of a district-wide parking solution.

Projects may contribute a fee in-lieu of meeting minimum parking requirements.

If required minimum space total is not a whole number, it must be rounded up to the nearest whole number.

Required Space Sizes

Off-Street Space Size	9'x18' min. (See Table 3.1)
Drive Aisle Width	16' min.
Parking Drive Width	15' max.*

*Wider parking drives may be required to accommodate emergency access.

Notes

Off-street spaces do not have to be covered.

Tandem parking is allowed for off-street parking.

On corner lots, parking drive shall not be located on primary street.

Shared drives are encouraged between adjacent lots to minimize curb cuts along the street.

Open Space Requirements

Because open space requirements were dealt with at the project area scale, no additional public or private open space requirements are required for individual projects other than those regulated per district

Table 3.1: Standard Vehicle Space Requirements

Angle	Space Width	Space Depth*	Space Length	One-way Aisle Width**	Two-way Aisle Width
Parallel	9'	9'	20'	12'	24'
30° *	9'	18'	20'	12'	N/A
45° *	9'	20'6"	20'	14'	N/A
60° *	9'	22'	20'	18'	N/A
Perpendicular	9'	18'	18'	24'	24'

*Measured perpendicular to aisle